

Version:	Description:	Drawn:	Date:
S_1	Sketch plans	SDC	10/09/2021
S_2	Sketch plans	SDC	12/11/2021
S_3	Sketch plans	SDC	11/02/2022
P_1	Preliminary plans	SDC	11/04/2022
P_2	Preliminary plans	SDC	05/07/2022
P_3	Preliminary plans	SDC	05/07/2022
P_4	Preliminary plans	SDC	06/07/2022
P_5	Preliminary plans	SDC	06/07/2022
P_6	Preliminary plans	SDC	14/07/2022
P_7	Preliminary plans	SDC	14/07/2022
DA_1	DA plans	SDC	14/09/2022
DA_2	DA plans	SDC	28/09/2022
DA_3	DA plans	SDC	4/10/2022
DA_4	DA plans	SDC	5/10/2022
DA_5	DA plans	SDC	7/10/2022
DA_6	DA plans	SDC	27/10/2022
DA_7	DA plans	SDC	11/11/2022
DA_8	DA plans	SDC	11/11/2022
DA_9	DA plans	SDC	30/11/2022
DA_10	DA plans	SDC	2/12/2022

Page	Plans
01	Title page
02	Site plan
03	Benching plan
04	Site analysis/Waste management plan
05	Landscape concept plan
06	Shadow diagrams
07	Shadow diagrams
08	Shadow diagrams
09	Ground floor plan
10	First floor plan
11	Elevations
12	Elevations
13	Section A-A/Details
14	Floor plan (ancillary development)
15	Elevations (ancillary development)
16	Elevations (ancillary development)
17	Section B-B/Details (ancillary development)
18	Window/door schedule
19	Electrical plan ground floor
20	Electrical plan first floor
21	Roof plan
22	Gross floor area
23	Notification
24	Safety design sheet
25	Specification

Basix Commitments

Water

- Rainwater tank of at least 5,000L to be installed.
- Rainwater tank to meet and be installed in accordance with applicable regulatory authorities.
- Rainwater tank to collect rain runoff from roof area depicted in BASIX certificate.
- Rainwater tank supply to be connected to all toilets in dwelling.
- Rainwater tank to be connected to at least one outdoor tap in the dwelling.

Tap fittings

Kitchen	5A star
Shower head	3A star
Toilet rating (dual flush)	4A star
Vanity and bath	6A star

Thermal Comfort

External walls	Brick veneer
Frame	Timber
External wall insulation	R 2.5
External wall colour	Medium
Roofing material	Colorbond
Roof insulation	Anticon
Roof colour	Dark
Ceiling insulation	R 5.0
Floor insulation	R 2.5 (Between floors)
Internal wall insulation	R 2.0 (Guest, Home Theatre, Master Suite, Bed 2, Bed 3, Bed 4, Garage)

Energy

- Solar electric boosted hot water system.
- Electric cooktop to Kitchen.
- Electric oven to Kitchen.
- Refrigerator spaces to be well ventilated.
- Compact fluorescent energy saving light bulbs to all light points.
- Outdoor clothes line.

General notes:

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7. Copyright of plans and documentation remain the exclusive property of Logico Homes Pty Ltd Builders Licence No. 249513C

Site address:

Lot 30 No. 22
Parkview Avenue
Picnic Point NSW 2213

Client name:

J. & S. Catling

Job No:

21.026

DWG No:

01

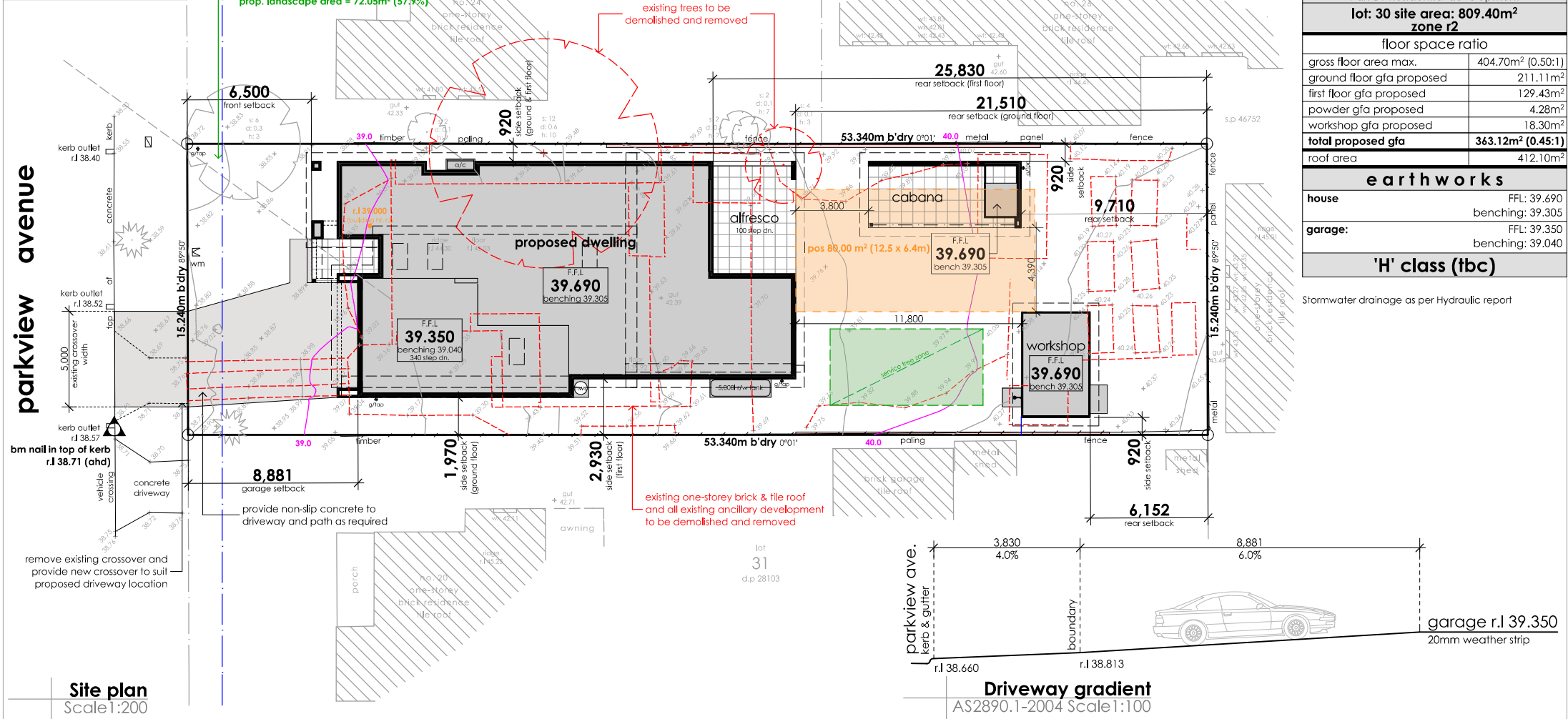
Version No:

DA_10

Date:

2/12/2022

legend	
	water meter
	benchmark
	communication pit
	top of gutter
	power pole
	window top
	s: (spread)
	d: (trunk diameter)
	h: (height)
	shrub



Logico homes
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S-DC BUILDING DESIGN
19/3 Brown Street
Kiamia NSW 2533
P 0412 477 240
0405 126 018
info@sdcbuildingdesign.com.au
www.sdcbuildingdesign.com.au

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Site classification: 'H' class (tbc)

IGA: Canterbury Bankstown

Lodgement: DA/CC

Lot No: 30 DP No: 28103

Design: Cormorant 44

Facade: Custom

Finishes: Logico

Site address: Lot 30 No. 22
Parkview Avenue
Picnic Point NSW 2213

Client names: J. & S. Catling

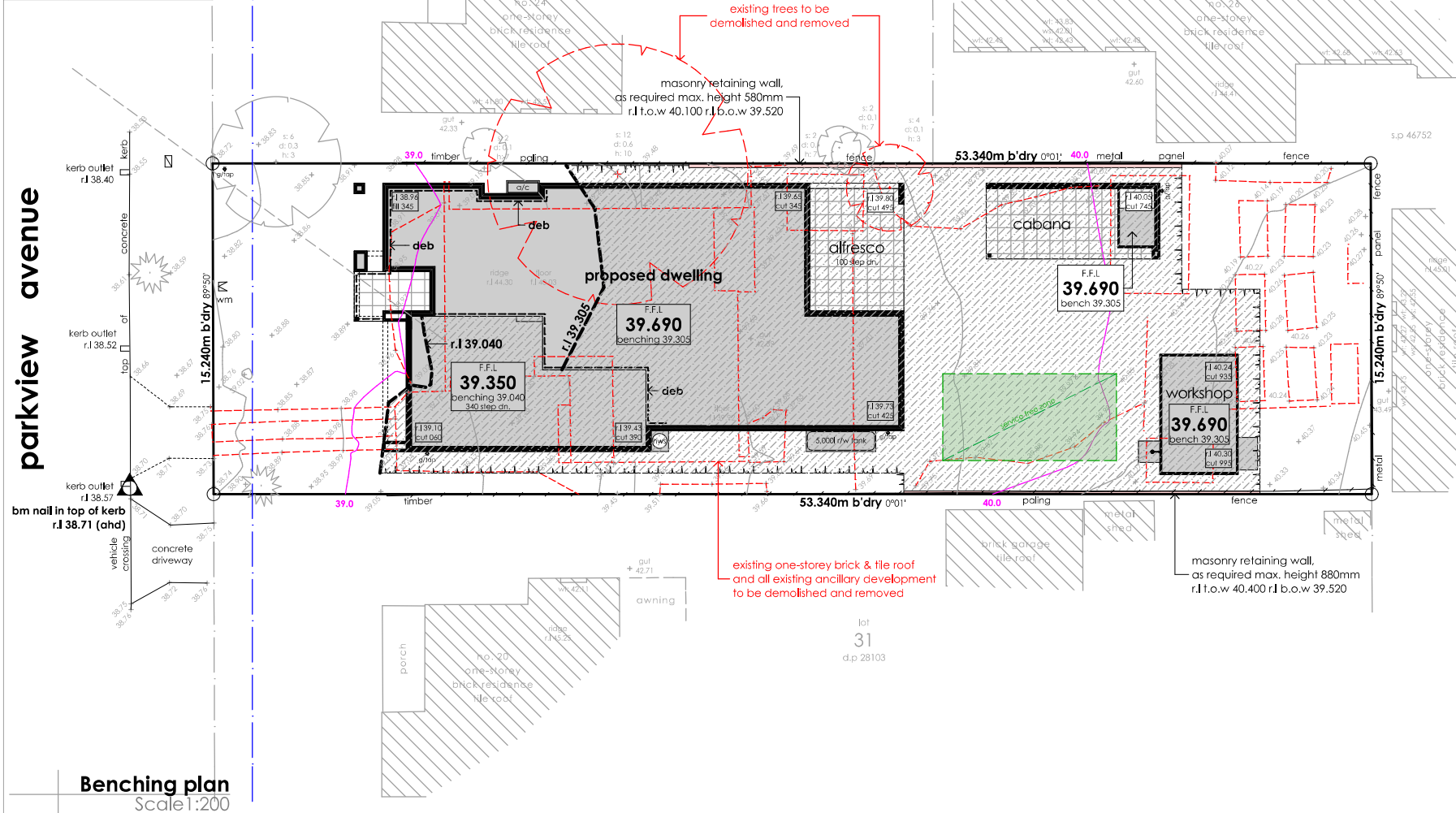
Job No: 21.026

DWG No: 02

Version No: DA_10

Date: 2/12/2022

legend	
	water meter
	benchmark
	communication pit
	top of gutter
	power pole
	window top
	s: (spread)
	d: (trunk diameter)
	h: (height)
	shrub



earthworks	
house	FFL: 39.690 benching: 39.305
garage:	FFL: 39.350 benching: 39.040
'H' class (tbc)	

Stormwater as per Hydraulic report

Excavate site approx. **995mm** to form job datum R.L. **39.305** over dwelling area. Datum point 385mm below finished floor level. Extent of batters and excavation to be determined on site.

Any retaining walls required to be completed by owners to manufacturers specifications.

Provide 1.80m high security fence to perimeter of site as per council requirements.

Provide temporary stabilised vehicle access driveway (gravel/rock aggregate)

Provide sediment control fence as per council requirements

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19/3 Brown Street
Kiama NSW 2533
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0405 126 018
www.sdcbuildingdesign.com.au

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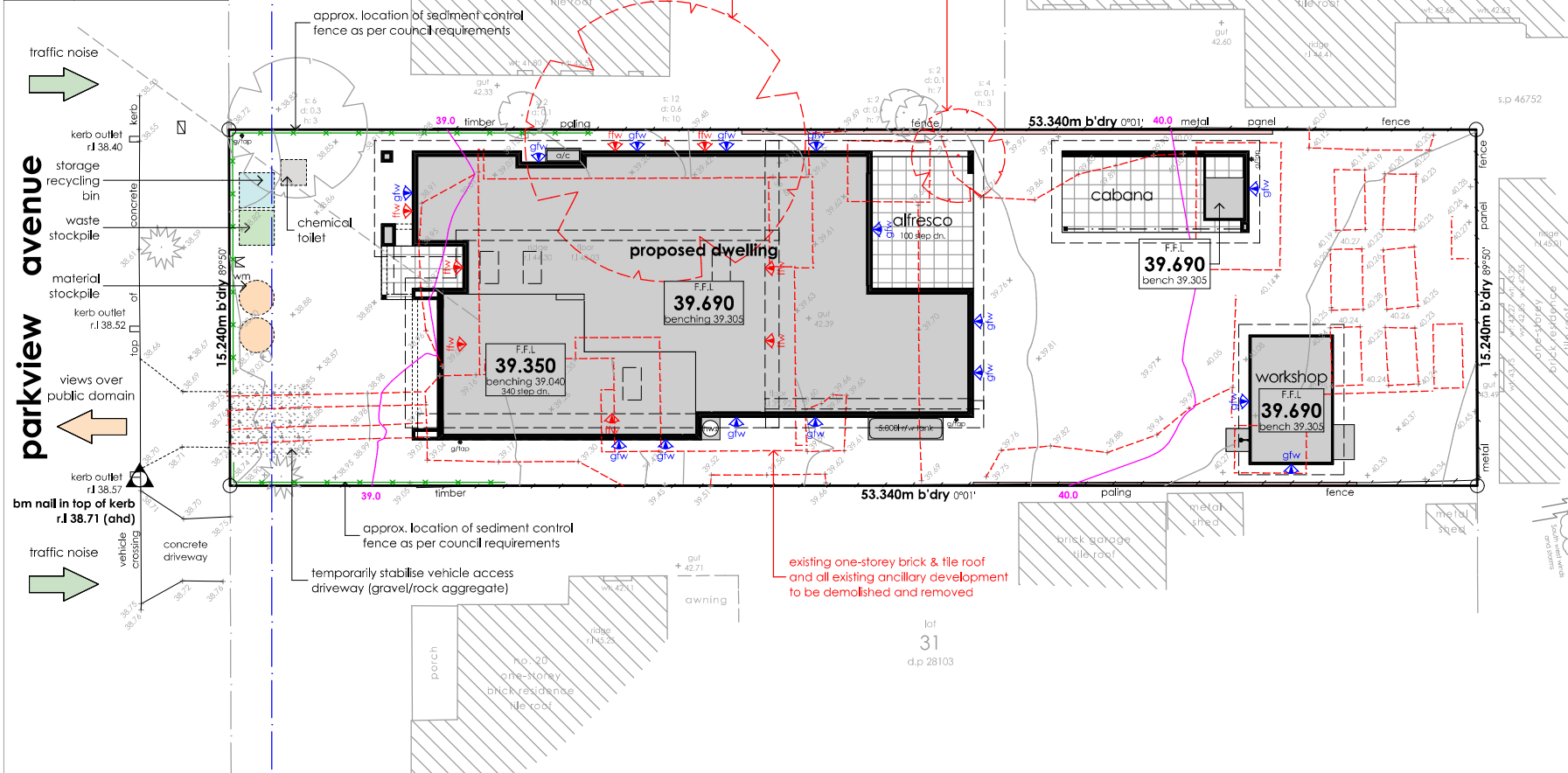
Job No: 21.026

DWG No: 03

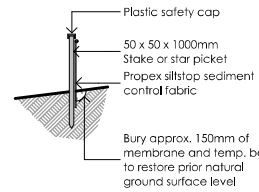
Version No: DA_10

Date: 2/12/2022

legend	
	water meter
	benchmark
	communication pit
	top of gutter
	power pole
	window top
	s: (spread)
	d: (trunk diameter)
	h: (height)
	shrub
	ground floor window
	first floor window



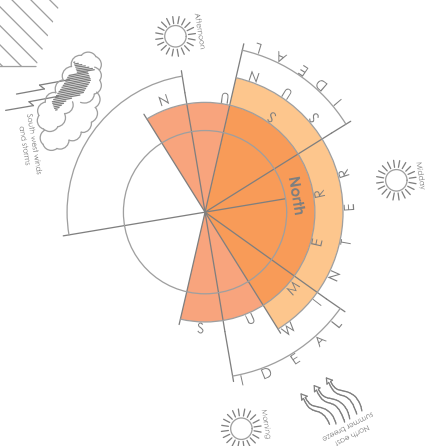
Site analysis/Waste management plan
Scale 1:200



Silt fence detail (Typical Section)

- Notes:**
- Dust Control measures**
 - If the site becomes dusty during hotter months Logico Homes will sprinkle water on the dust.
 - Any area of road base will be positioned for heavy vehicles to reduce and provide an area to wash trucks (as required).
 - Noise and vibration measures**
 - All excavation will be carried out between the time setout in the council conditions.
 - Machinery size will be kept to a minimum required for the job.

- Stormwater drainage as per Hydraulic Report
- Any retaining walls required to be completed by owners to manufacturers specifications.
- Provide 1.80m high security fence to perimeter of site as per council requirements.
- Provide temporary stabilised vehicle access driveway (gravel/rock aggregate)
- Provide sediment control fence as per council requirements



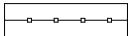
<p>Logico homes Live to smile</p>	<p>S-DC BUILDING DESIGN</p> <p>19/3 Brown Street Kiama NSW 2533 P 0412 477 240 0405 126 018</p> <p>bdac ACCREDITED BUILDING DESIGNER</p>	<p>General notes:</p> <ol style="list-style-type: none"> Do not scale from drawing All dimensions to be checked on site Any discrepancies to be report to designer Boundaries to be verified by surveyor Other consultants drawings take precedence Drainage to council requirements and AS3500 Copyright of plans and documentation remain the exclusive property of Logico Homes Pty Ltd Builders Licence No. 249513C 	<p>Site classification: 'H' class (tbc)</p> <p>IGA: Canterbury Bankstown</p> <p>Lodgement: DA/CC</p> <p>Lot No: 30 DP No: 28103</p>		<p>Design: Cormorant 44</p> <p>Facade: Custom</p> <p>Finishes: Logico</p>	<p>Site address: Lot 30 No. 22 Parkview Avenue Picnic Point NSW 2213</p> <p>Client names: J. & S. Catling</p>	<p>Job No: 21.026</p> <p>DWG No: 04</p> <p>Version No: DA_10</p> <p>Date: 2/12/2022</p>
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Excavate all areas to be turfed to 100mm below required finished levels. Do not excavate within 1500mm of the trunk of any existing tree to be retained. Ensure that all surface water runoff is directed towards the inlet pits, kerbs etc., and away from buildings. Ensure that no pooling or ponding will occur. Rip the subgrade to 150mm. Install 80mm depth of imported topsoil. Lay turf rolls closely butted. Fill any small gaps with topsoil. Water thoroughly.



Ensure that mass planting areas have been excavated to 250mm below finished levels. Rip to a further depth of 100mm. Supply and install 250mm of premium garden mix. Topsoil to be either imported topsoil or stockpiled site topsoil (if suitable ie, no clay). Install 75mm depth of organic Eucalyptus Mulch.



1.8m high Colorbond boundary fencing

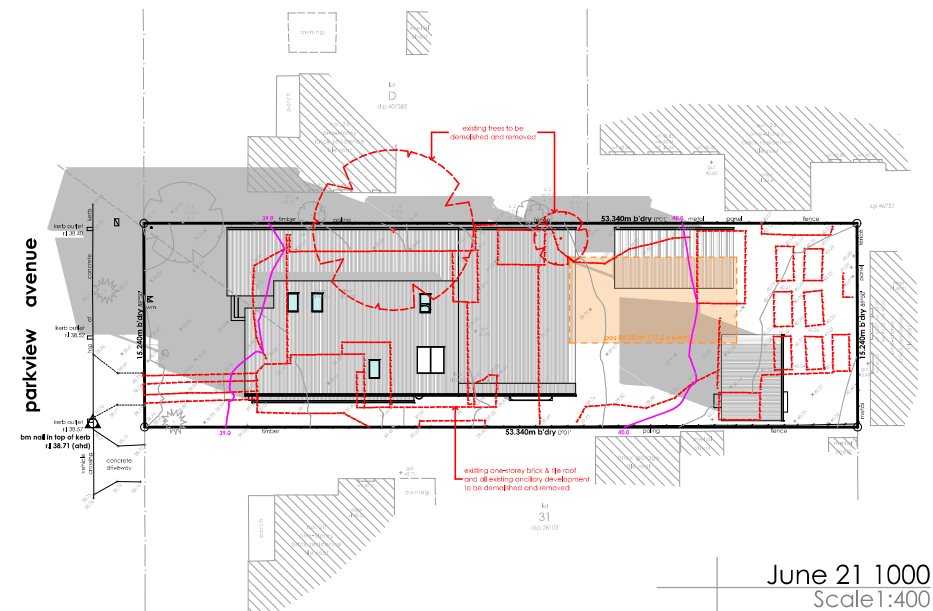
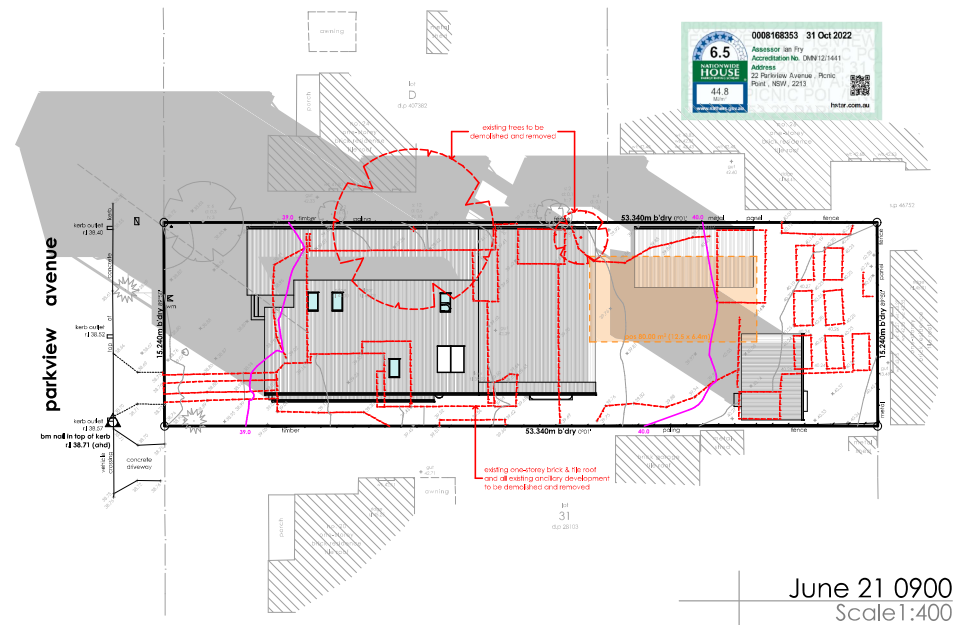
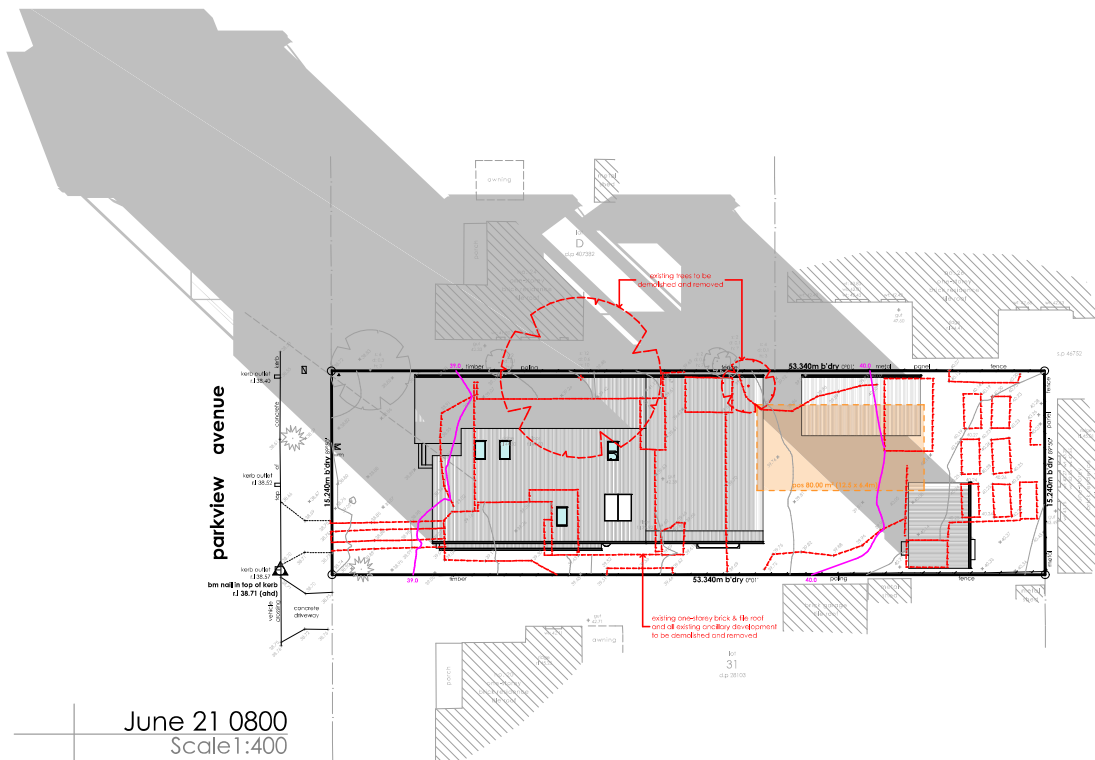


Job No:
21.026

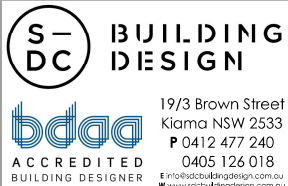
DWG No:
05

Version No:
DA_10

Date:
2/12/2022

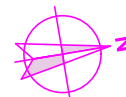


Shadow diagrams



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Site classification: 'H' class (tbc)
LGA: Canterbury Bankstown
Lodgement: DA/CC
Lot No: 30 DP No: 28103

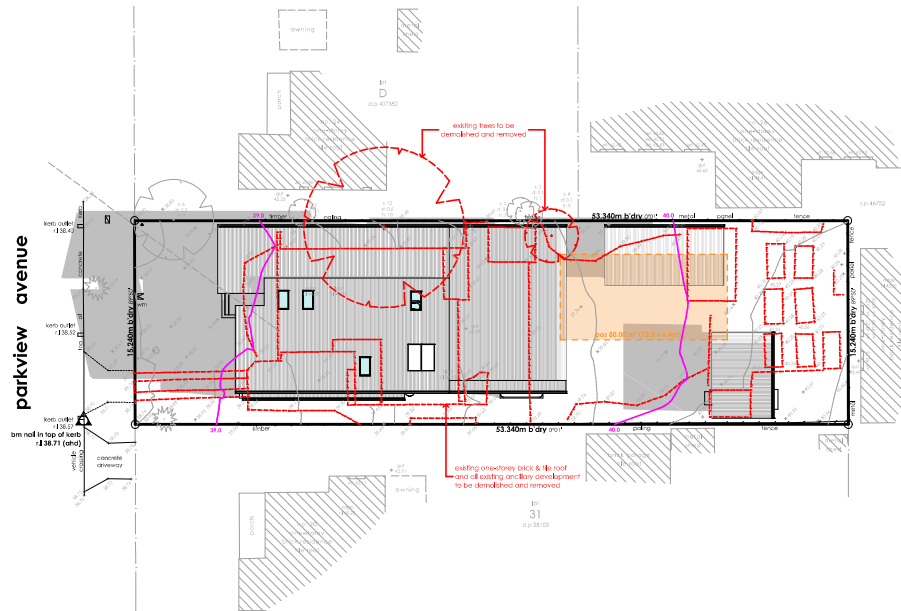


Design: Cormorant 44
Facade: Custom
Finishes: Logico

Site address: Lot 30 No. 22
Parkview Avenue
Picnic Point NSW 2213
Client names: J. & S. Catling

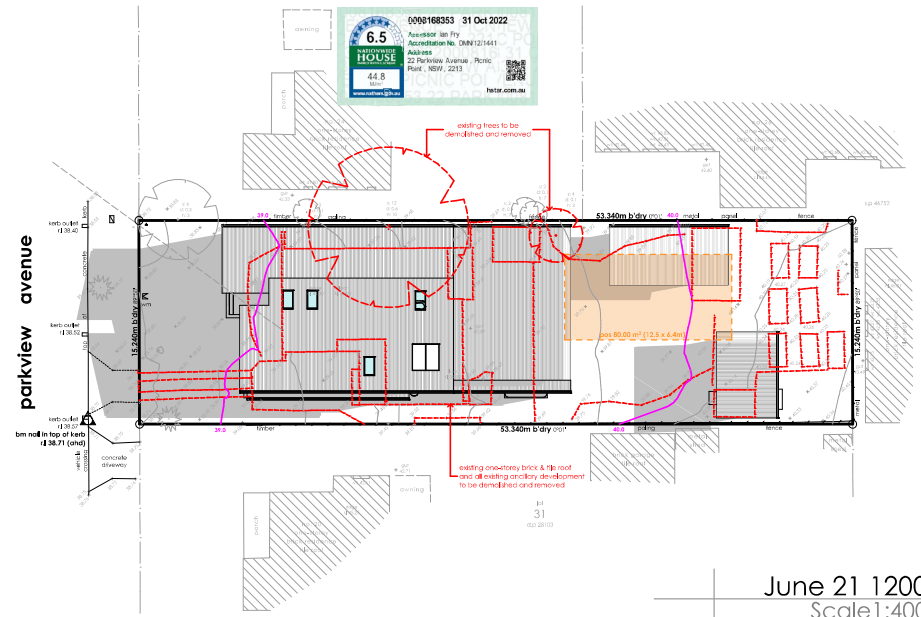
Job No: 21.026
DWG No: 06
Version No: DA_10
Date: 2/12/2022

parkview avenue

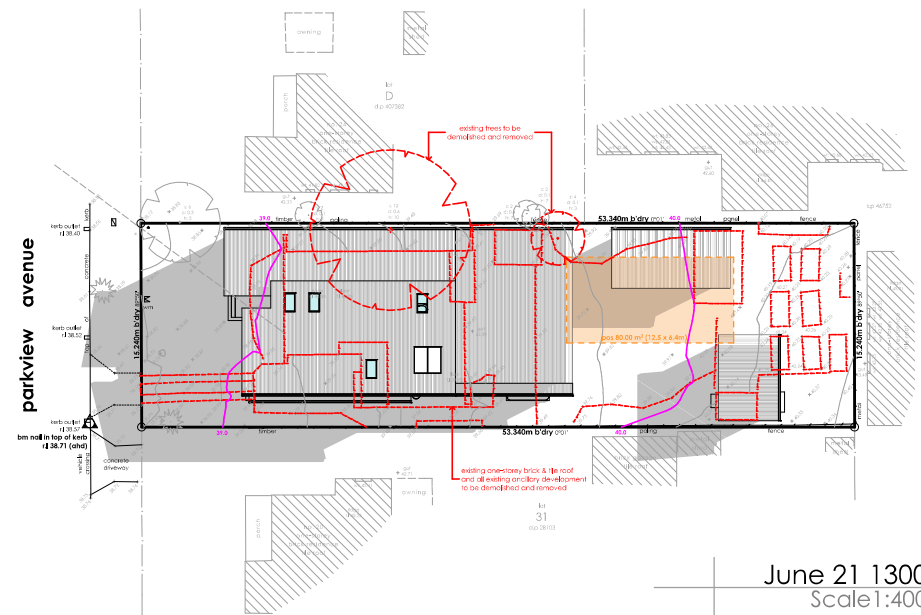


June 21 1100
Scale 1:400

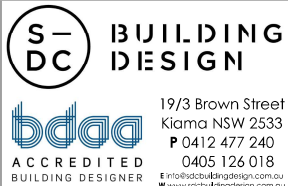
Shadow diagrams



June 21 1200
Scale 1:400



June 21 1300
Scale 1:400



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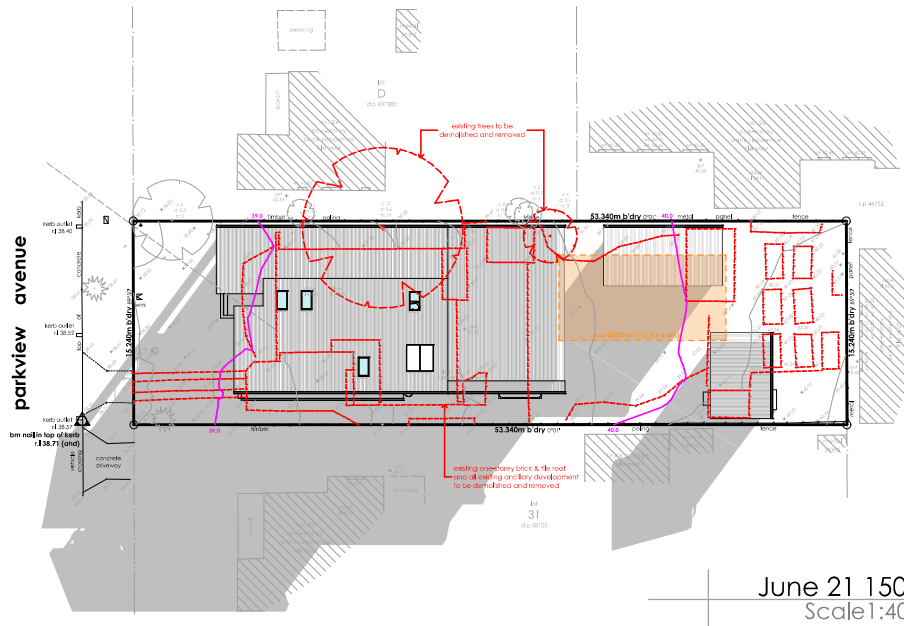
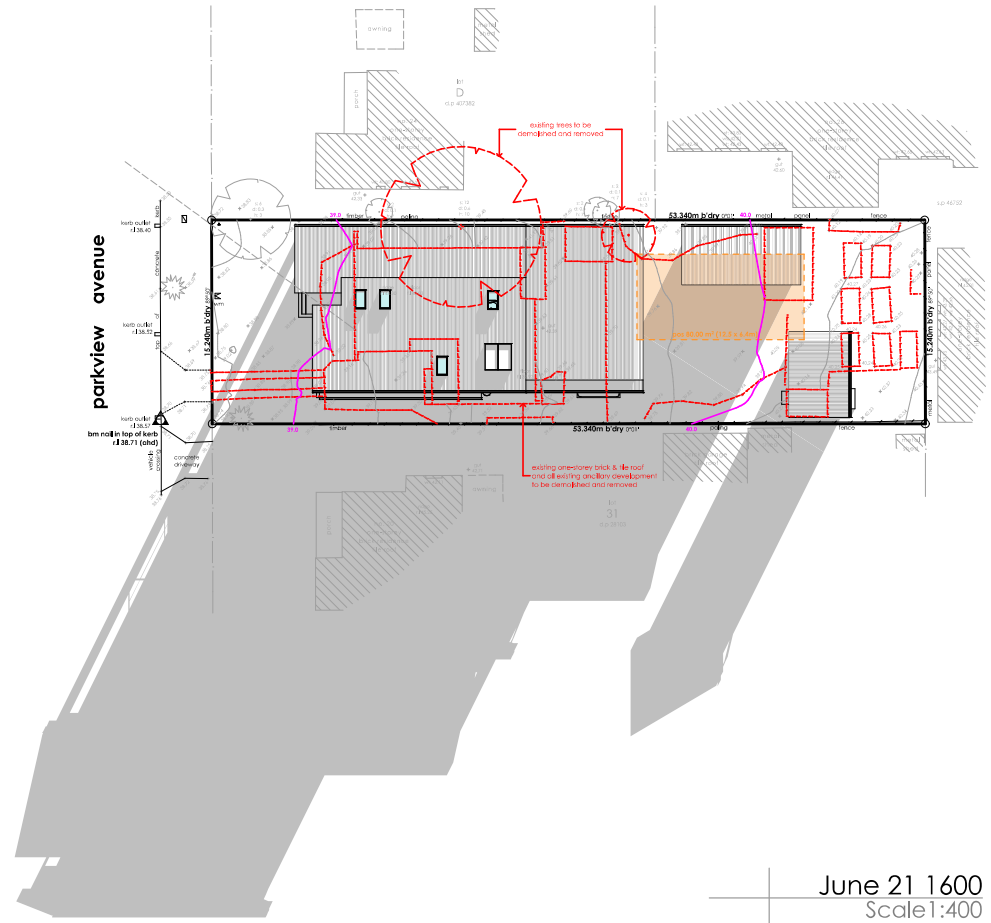
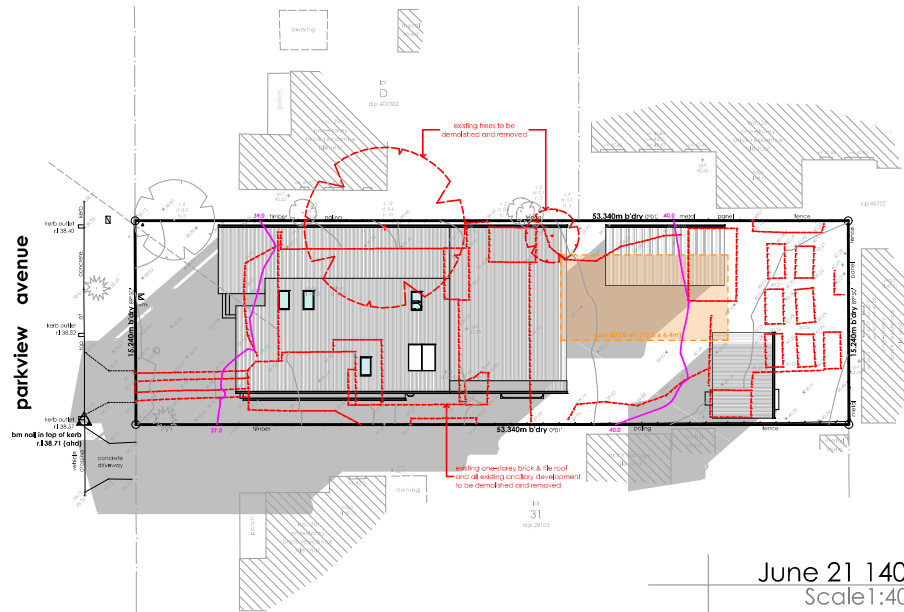
Site classification: 'H' class (tbc)
LGA: Canterbury Bankstown
Lodgement: DA/CC
Lot No: 30 DP No: 28103



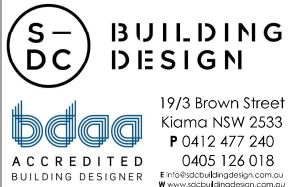
Design: Cormorant 44
Facade: Custom
Finishes: Logico

Site address: Lot 30 No. 22 Parkview Avenue Picnic Point NSW 2213
Client names: J. & S. Catling

Job No: 21.026
DWG No: 07
Version No: DA_10
Date: 2/12/2022



Shadow diagrams



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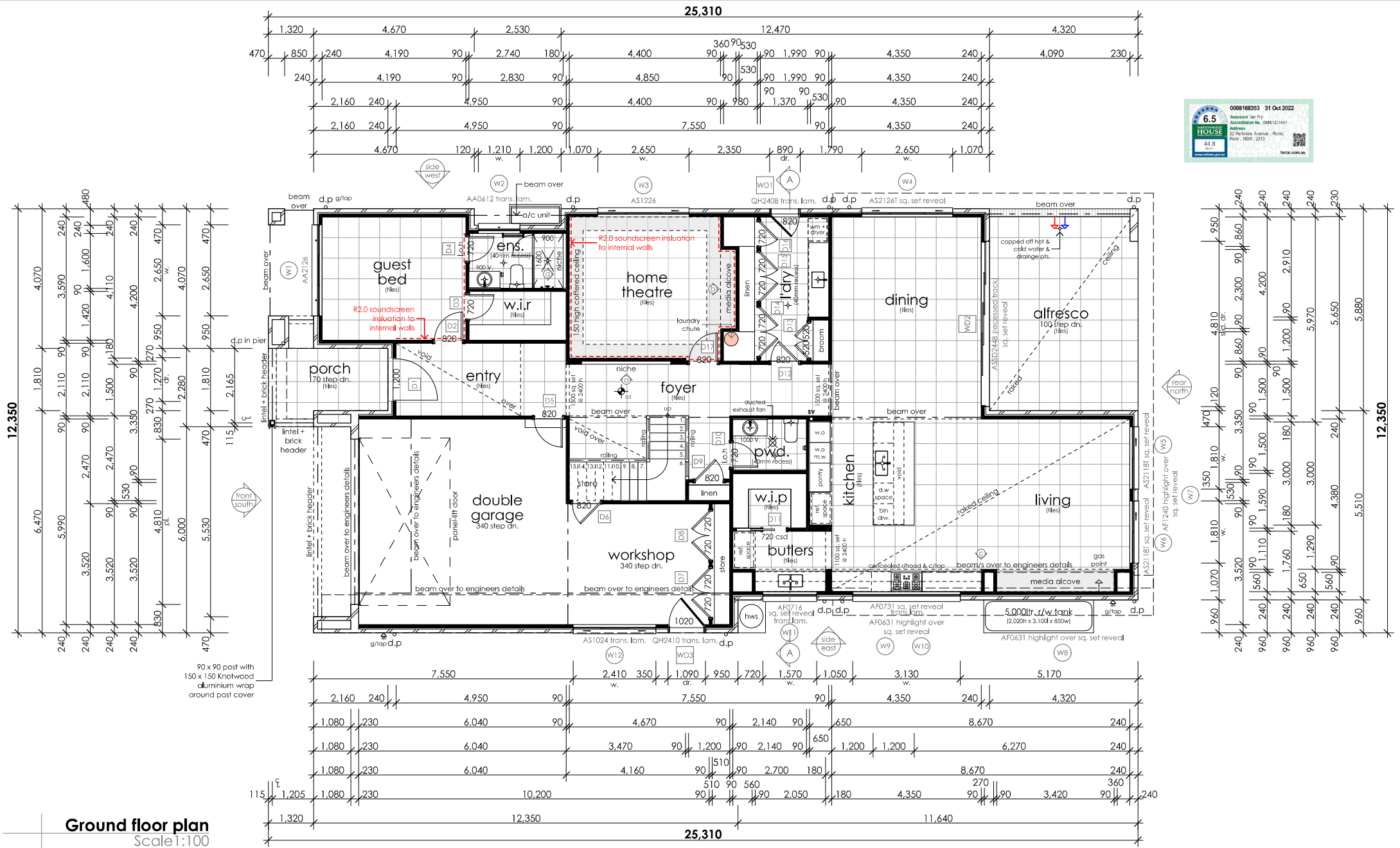
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 LGA: Canterbury Bankstown
 Lodgement: DA/CC
 Lot No: 30 DP No: 28103




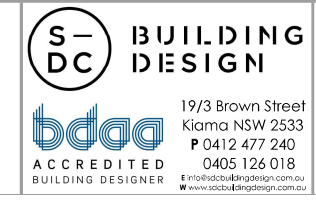
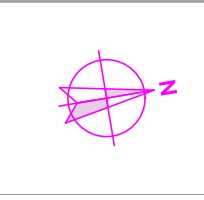
Design: Cormorant 44
 Facade: Custom
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 Picnic Point NSW 2213
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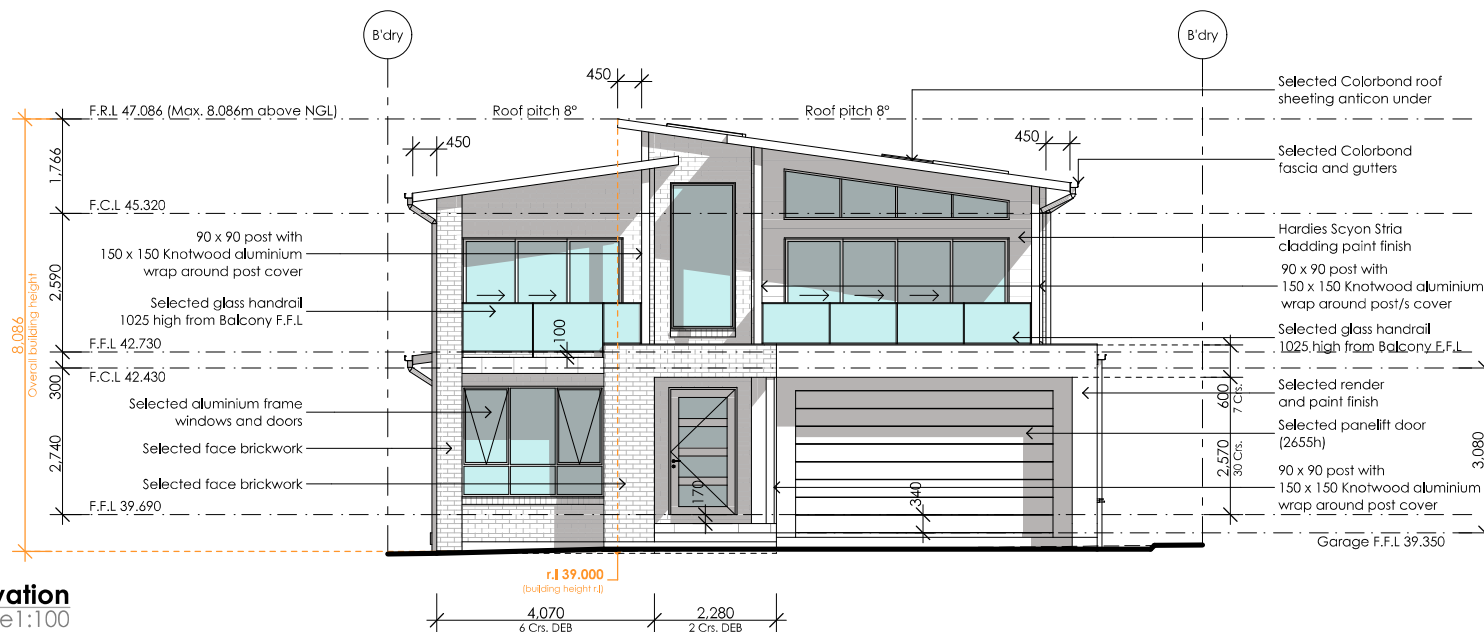
Job No: 21.026
 DWG No: 08
 Version No: DA_10
 Date: 2/12/2022



Ground floor plan
Scale 1:100

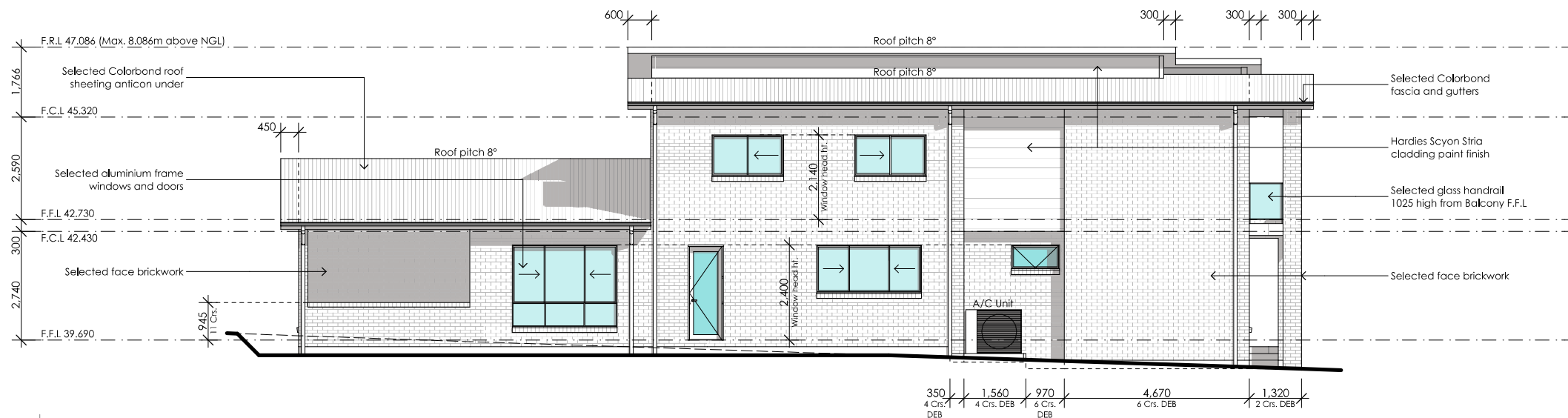
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Job No:	21.026
DWG No:	10
Version No:	DA_10
Date:	2/12/2022



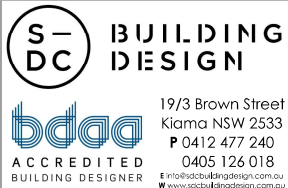
Front | South Elevation

Scale 1:100



Side | West Elevation

Scale 1:100



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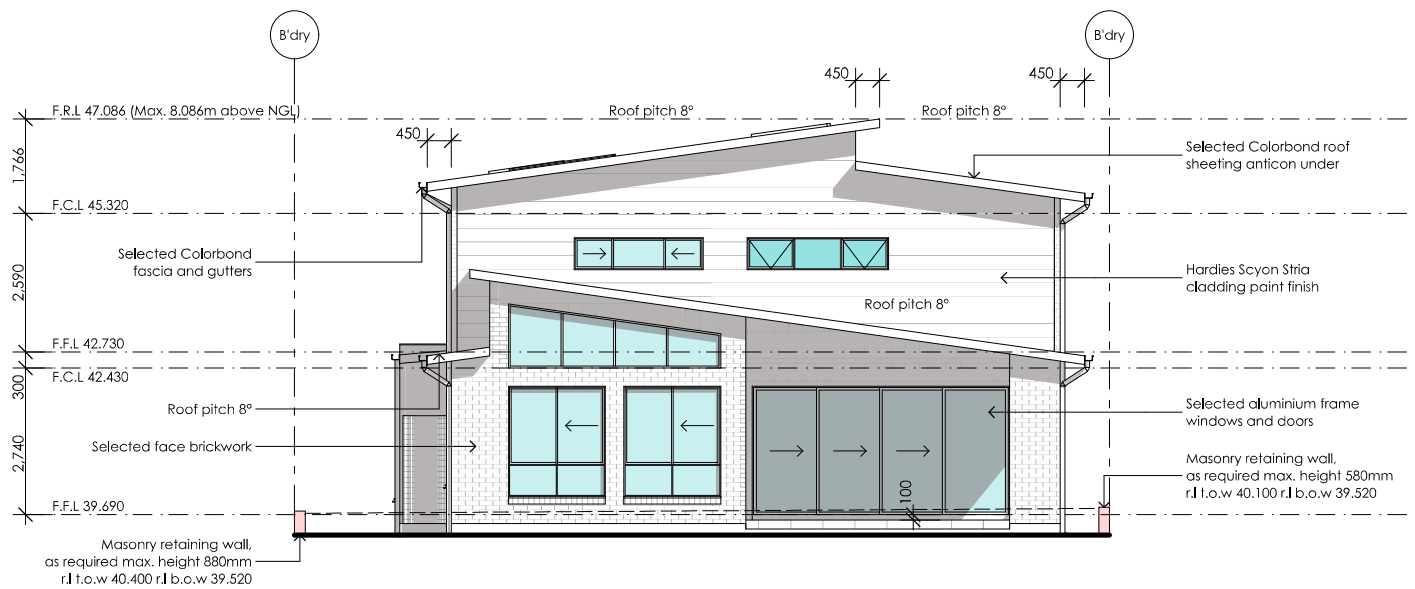
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LGA: Canterbury Bankstown
Lodgement: DA/CC
Lot No: 30 DP No: 28103



Design: Cormorant 44
Facade: Custom
Finishes: Logico

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DWG No: 11
Version No: DA_10
Date: 2/12/2022



Architectural elevation drawing of a building facade, showing a cross-section and elevation details. The drawing includes labels for materials, structural elements, and dimensions.

Materials and Finishes:

- Selected Colorbond roof sheeting anticon under
- Selected face brickwork
- Hardies Scyon Stria cladding paint finish
- 90 x 90 post with 150 x 150 Knotwood aluminium wrap around post/s cover
- Selected glass handrail 1025 high from Balcony F.F.L
- Spitter
- Selected render and paint finish
- 140 x 140 steel post paint finish
- Selected Colorbond fascia and gutters
- Hardies Scyon Stria cladding paint finish
- Selected face brickwork

Structural Elements and Features:

- 4 x 780 x 1400mm Velux electric skylight/s
- Solar panels for electric boosted HWS
- Roof pitch 8°
- Roof pitch 5°
- Roof pitch 8°
- Roof pitch 8°
- 5,000ltr r/w tank (2,020h x 3,100 x 850w)
- Gr/Trap
- HWS
- Window head ht.

Dimensions and Levels:

- 300
- 300
- 300
- 600
- 450
- 3,945
- 600
- 590
- 5 Crs. 1 DEB
- 4 Crs. DEB
- F.R.L 47.086 (Max. 8.086m above NGL)
- F.C.L 45.320
- F.F.L 42.730
- F.C.L 42.430
- 300
- 2,740
- F.F.L 39.690
- Garage F.F.L 39.350

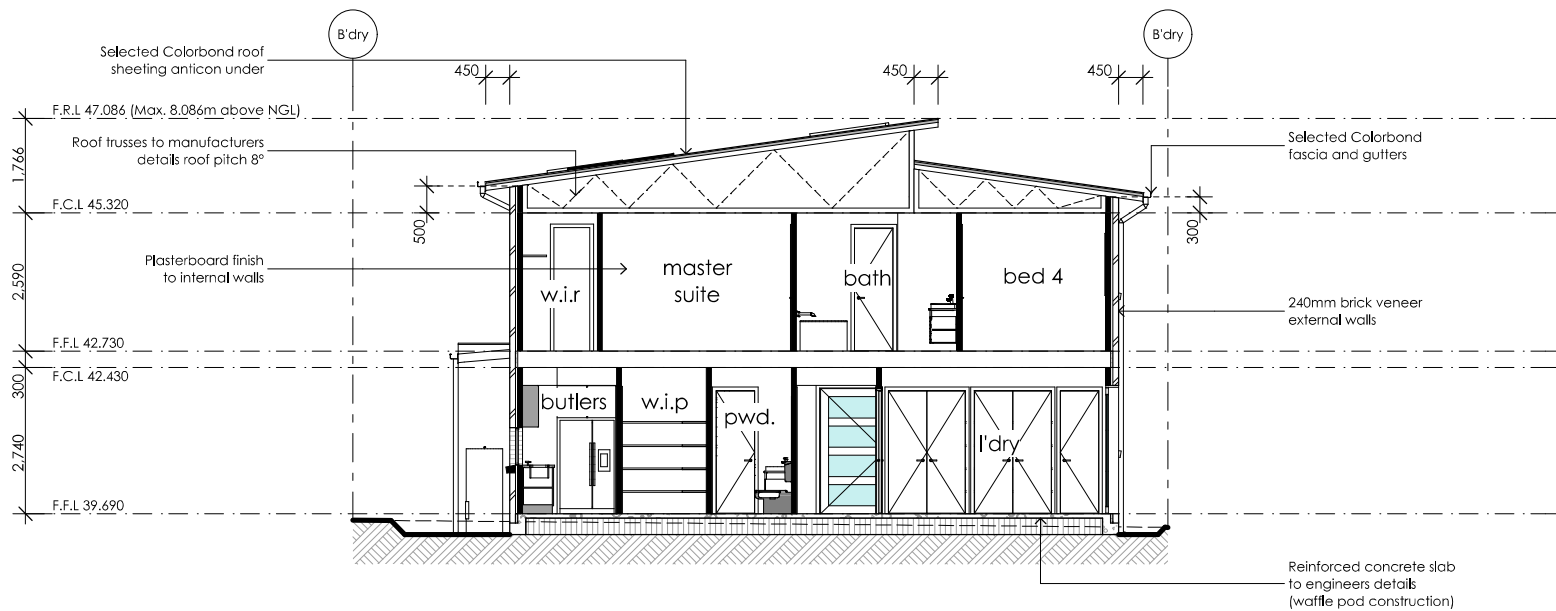


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Lodgement:		DA/CC	
Lot No:	30	DP No:	28103

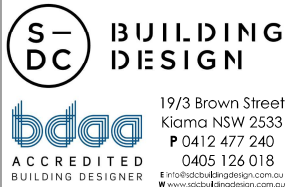
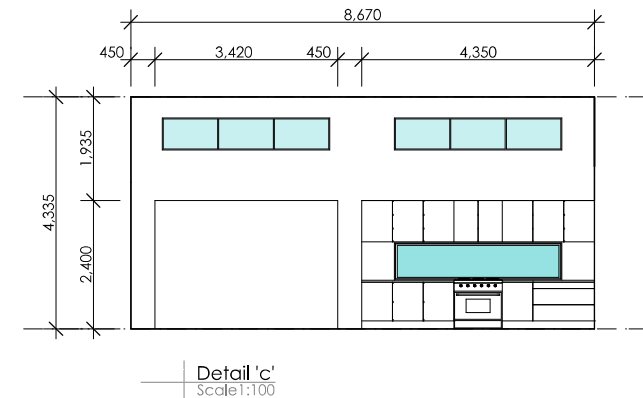
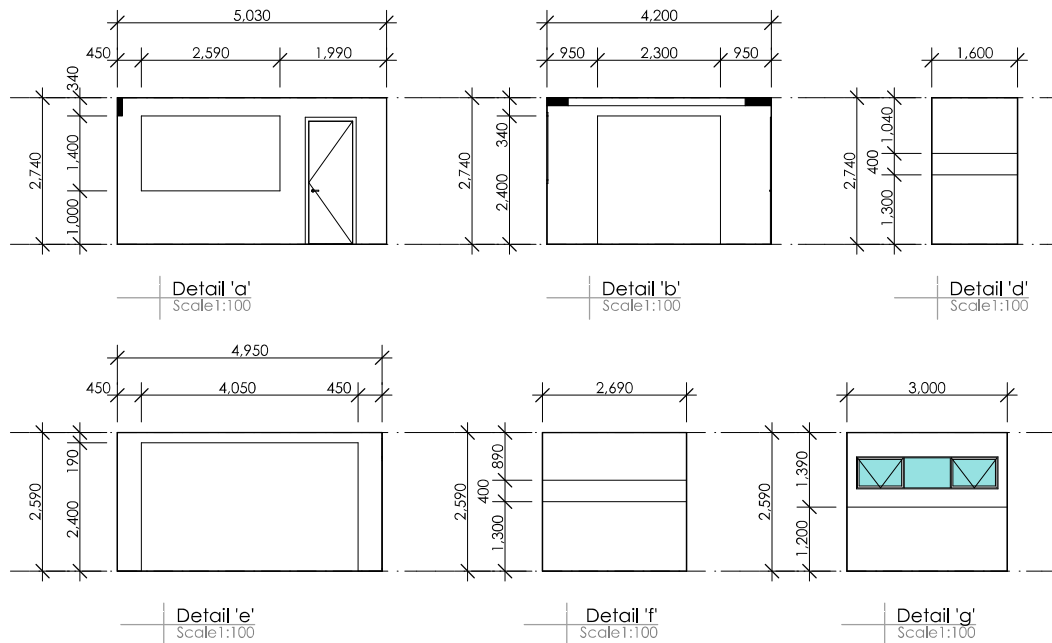


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Lot 30 No. 22
Parkview Avenue
Picnic Point NSW 2213
Client names:
J. & S. Catling

Job No:	21.026
DWG No:	12
Version No:	DA_10
Date:	2/12/2022



Section A-A
Scale 1:100



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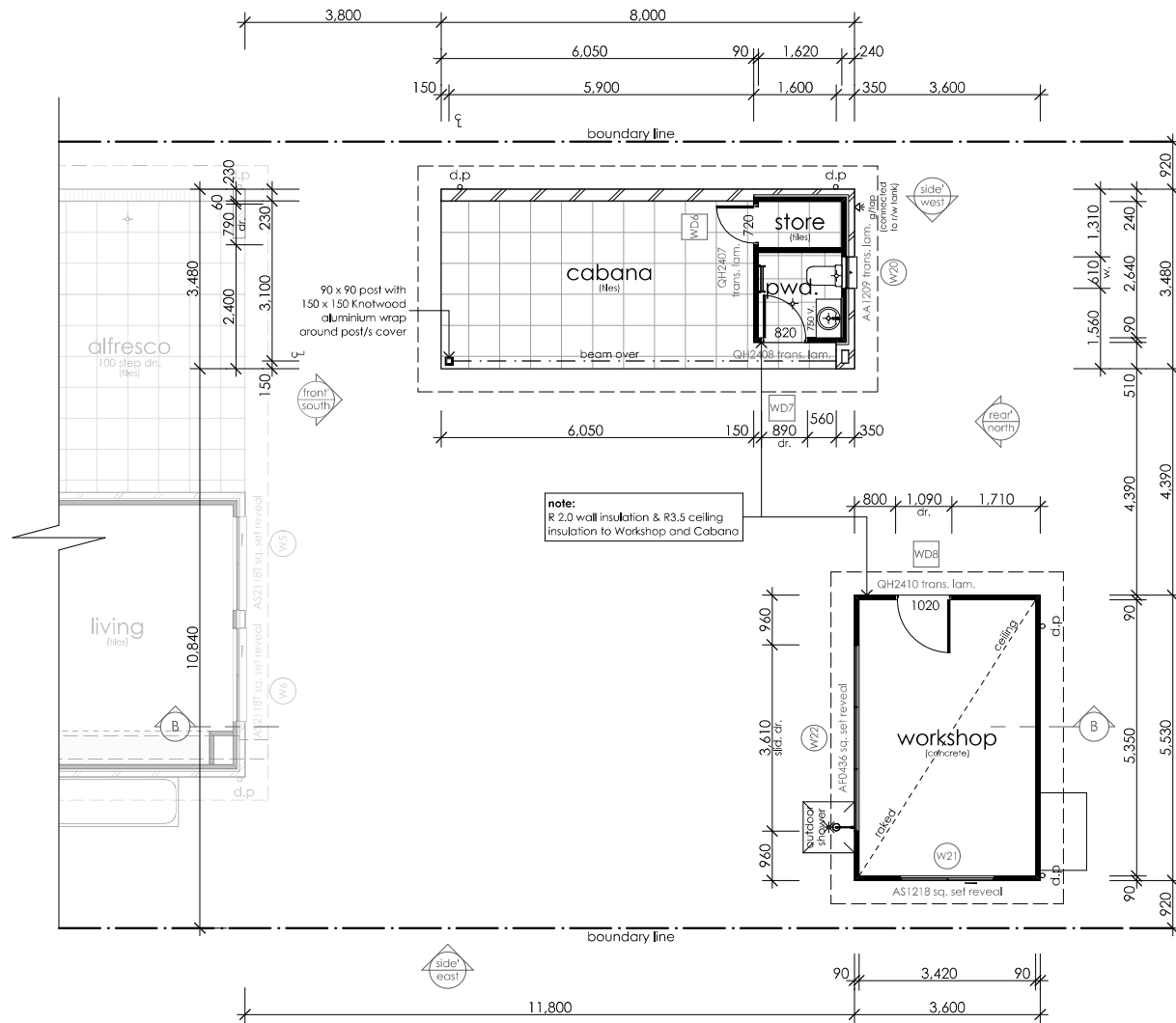
Site classification: 'H' class (tbc)
LGA: Canterbury Bankstown
Lodgement: DA/CC
Lot No: 30 DP No: 28103



Design: Cormorant 44
Facade: Custom
Finishes: Logico

Site address: Lot 30 No. 22 Parkview Avenue Picnic Point NSW 2213
Client names: J. & S. Catling

Job No: 21.026
DWG No: 13
Version No: DA_10
Date: 2/12/2022



Floor plan (ancillary development)
Scale 1:100



BASIX & THERMAL COMMITMENTS

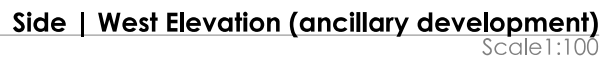
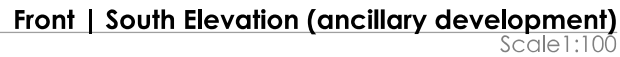


Date 31 October 2022 - 1:12pm




Lot Number 30	House Number 22	Street Parkview	Suburb Picnic Point	Post Code 2213	State NSW
FLOORS					
Ground Waffle pot	1st Floor Timber				
WALLS					
Ground Block Veneer	1st Floor Block Veneer, Fibre Cement Cladding				
Insulation External Walls R2.5	Internal Walls to be Insulated (Garage Internal walls, 0 (Garage, Home Theatre, Master Suite, Bed 2, Bed 3, Bed 4, Garage)	Insulation Internal Walls R2.0			
External Colours Medium					
CEILINGS					
Ceilings with cavity to roof R5.0	Ceiling between Ground and 1st Floor R2.5				
ROOF AREA					
Colours Dark	Material Metal (Colourbond)	Insulation Anticon 50mm (R1.3)			
WINDOWS (Refer to NABERS Certificate for more detail)					
Upgraded windows, refer to NABERS Certificate					
WATER					
Landscape Area 150m ²	Rainwater Tank Garden, WC, Laundry	Rainwater Tank Size 5,000 L	Roof Area to Tank 100m ² of Roof	Bath Taps 6 Star	Kitchen Taps 5 Star
Showerheads 3 Star> 7.5 but less < or = 9.0 litres per minute	Toilets 4 Star				
Swimming Pool No					
ENERGY					
Hot Water Gas Instantaneous 6 Star	Air Conditioning Single Phase	Air Conditioner EER Cooling 3.0 - 3.5 - Heating 3.5 - 4.0			
VENTILATION					
Laundry Natural Ventilation (has external window/door)	Bathroom Not Ducted	Kitchen Ducted			
OTHER					
Solar Photovoltaic System No	Cooking Gas Cooktop/Electric Oven				
Living Room Ceiling Fans Yes	Bedroom Ceiling Fans No	Other Outdoor Clothes Line, Air Conditioning Zoned			
ADDITIONAL NOTES					

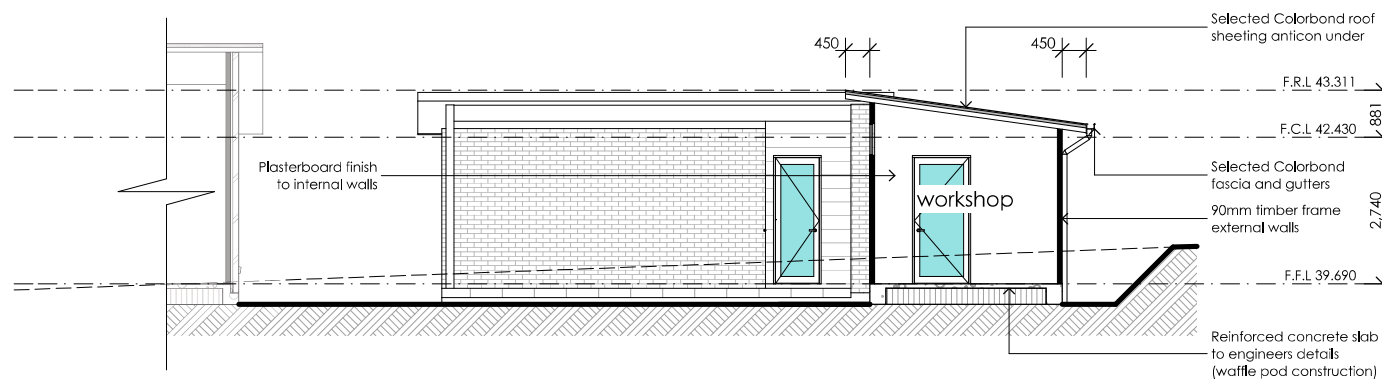
The project has been assessed under the simulation method of the BASIX Protocol. Drawings lifted after the assessment must be IC Rated and non-ventilated. All new residential buildings must be constructed in accordance with Building BCA Part 3, 12, 1, Bulst Sealing BCA Part 3, 12, 3. Insulation must be installed in accordance with AS3500.

Frys Building Consulting Pty Ltd. Trading as Frys Energywise are Accredited Thermal Energy Assessors ASBA 2085, NSW 12/441, CDA 301138.



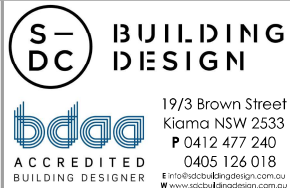
Architectural elevation drawing of a building facade. The drawing shows a gabled roof with a pitch of 8°. The roof is labeled "Selected Colorbond roof sheeting anticon under". The roof pitch is indicated as "Roof pitch 8°" in two locations. The roofline is marked with "F.R.L. 43.311" and "F.C.L. 42.430". The building has a "Selected face brickwork" wall. A door is shown with a "90 x 90 post with 150 x 150 Knotwood aluminium wrap around post cover". A window is shown with "Hardies Scyon Stria cladding paint finish". The building is labeled "Selected Colorbond fascia and gutters". The ground level is marked with "F.F.L. 39.690". The drawing includes dimensions: "450" for the roof overhang, "85" for the door height, and "2,740" for the building height. The drawing also includes a section line "450/45" and a section line "450/45".

 <p>Logicohomes <i>Live to smile</i></p>	 <p>S-DC BUILDING DESIGN</p>	<p>General notes:</p> <ol style="list-style-type: none"> Do not scale from drawing All dimensions to be checked on site Any discrepancies to be report to designer Boundaries to be verified by surveyor Other consultants drawings take precedence Drainage to council requirements and AS3300 Copyright of plans and documentation remain the exclusive property of Logico Homes Pty Ltd Builders Licence No. 249513C 	<p>Site classification: 'H' class (tbc)</p> <p>LGA: Canterbury Bankstown</p> <p>Lodgement: DA/CC</p>		<p>Design: Cormorant 44</p> <p>Facade: Custom</p> <p>Finishes: Logico</p>	<p>Site address: Lot 30 No. 22 Parkview Avenue Picnic Point NSW 2213</p> <p>Client names: J. & S. Catling</p>	<p>Job No: 21.026</p> <p>DWG No: 16</p> <p>Version No: DA_10</p> <p>Date: 2/12/2022</p>
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Section B-B (ancillary development)

Scale 1:100



General notes:

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Site classification:		'H' class (tbc)
LGA:		Canterbury Bankstown
Lodgement:		DA/CC
Lot No:	DP No:	
30	28103	



Design:	Cormorant 44	Site address:	Lot 30 No. 22 Parkview Avenue Picnic Point NSW 2213	Job No:	21.026
Facade:	Custom	Client names:	J. & S. Catling	DWG No:	17
Finishes:	Logico			Version No:	DA_10
				Date:	2/12/2022

Window / Door Schedule							
Window No.	Type	Window Size		Plan View	Elev. View	Glazing	Others
		Height	Width				
W1	AA2126T	2,060	2,650			double clear	
W2	AA0612	600	1,210			double trans. lam.	
W3	AS1226	1,200	2,650			double clear	
W4	AS2126T	2,060	2,650			double clear	sq. set reveal
W5	AS2118T	2,060	1,810			double clear	sq. set reveal
W6	AS2118T	2,060	1,810			double clear	sq. set reveal
W7	AF1240	1,200	3,970			double clear	sq. set reveal
W8	AF0631	600	3,130			double clear	sq. set reveal
W9	AF0731	700	3,130			double trans.lam.	sq. set reveal
W10	AF0631	600	3,130			double clear	sq. set reveal
W11	AF0716	700	1,570			double trans.lam.	sq. set reveal
W12	AS1024	1,030	2,410			double trans.lam.	
W13	AF0942	945	4,210			double clear	sq. set reveal
W14	AF2712	2,740	1,210			double clear	sq. set reveal
W15	AS1018	1,030	1,810			double clear	
W16	AS1018	1,030	1,810			double clear	
W17	AA0626	600	2,650			double trans. lam.	
W18	AS0624	600	2,410			double clear	
W19	AA1007	1,030	730			double trans. lam.	
W20	AA1206	1,200	610			trans. lam.	
W21	AS1218	1,200	1,810			single clear	sq. set reveal
W22	AF0636	600	3,610			single clear	sq. set reveal
WD1	QH2408	2,400	820			double trans. lam.	
WD2	ASSD2448	2,400	4,810			double clear	sq. set reveal
WD3	QH2410	2,400	1,020			trans. lam.	
WD4	ASSD2130	2,140	3,010			double clear	
WD5	ASSD2142	2,140	4,210			double clear	sq. set reveal
WD6	QH2407	2,400	720			trans. lam.	
WD7	QH2408	2,400	820			trans. lam.	
WD8	QH2410	2,400	1,020			trans. lam.	

Door Schedule							
Door No.	Type	Door Size		Plan View	Elev. View	Glazing	Others
		Height	Width				
D1	selected entry door	2,340	1,200			single clear	
D2	820 hung door	2,340	820				
D3	720 hung door	2,340	720				
D4	720 hung door	2,340	720				lift-off hinges
D5	820 hung door	2,340	820				
D6	820 hung door	2,040	820				
D7	2 x 720 hung doors	2,340	1,440				
D8	2 x 720 hung doors	2,340	1,440				
D9	820 hung door	2,340	820				
D10	720 hung door	2,340	720				lift-off hinges
D11	720 csd	2,340	720				
D12	820 hung door	2,340	820				
D13	2 x 520 hung doors	2,340	1,040				
D14	2 x 720 hung doors	2,340	1,440				
D15	2 x 720 hung doors	2,340	1,440				
D16	720 hung door	2,340	720				
D17	820 hung door	2,340	820				
D18	2 x 520 hung doors	2,340	1,040				
D19	820 hung door	2,340	820				
D20	2 x 520 hung doors	2,340	1,040				
D21	2 x 520 hung doors	2,340	1,040				
D22	2 x 520 hung doors	2,340	1,040				
D23	820 hung door	2,340	820				
D24	720 hung door	2,340	720				
D25	720 csd	2,340	720				
D26	820 hung door	2,340	820				
D27	2 x 820 hung doors	2,340	1,640				
D28	720 hung door	2,340	720				lift-off hinges
D29	820 hung door	2,340	820				
D30	720 csd	2,340	720				
D31	2 x 820 hung doors	2,340	1,640				



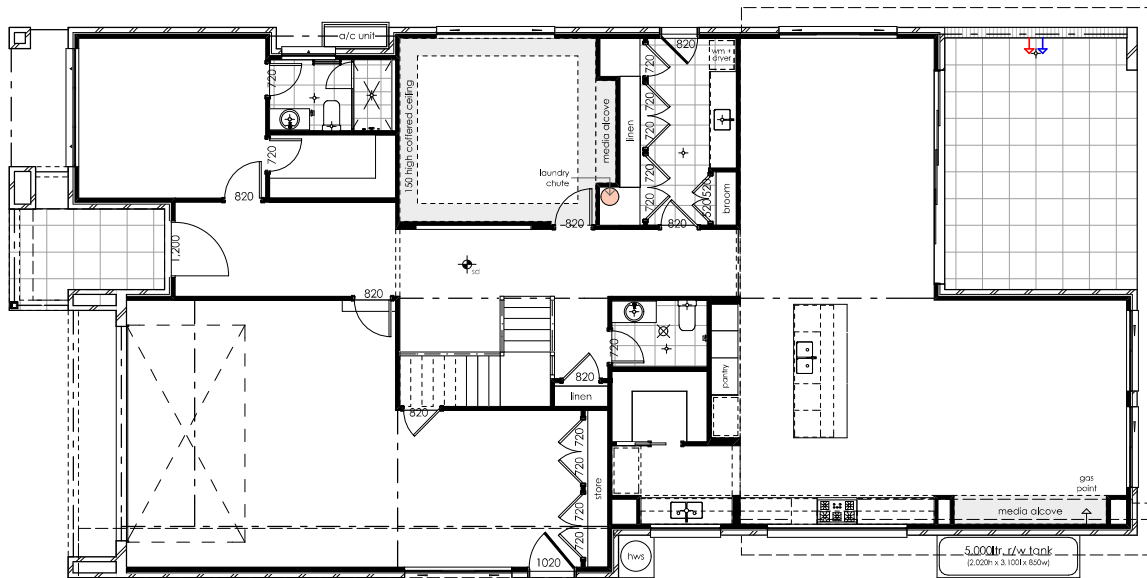
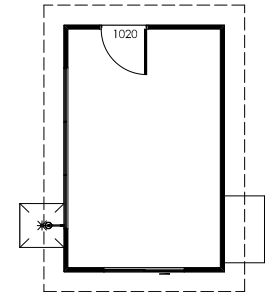
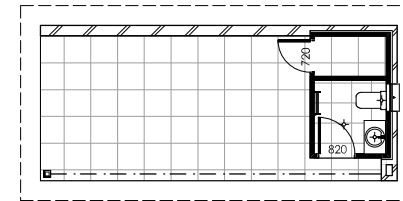


General electrical notes

All electrical points (power points, light switches etc) positioning are approximate only and are subject to confirmation by electrician and builder

Legend

Symbol	Description	
	Single G.P.O.	4-way Exhaust fan/light/heat
	Single waterproof G.P.O.	Ceiling fan
	Double G.P.O.	
	Double waterproof G.P.O.	Ceiling fan/light
	Ceiling light fitting	
	LED downlight	Smoke detector
	Flourescent light to garage	T.V Point
	Wall light point	Gas point
	External wall light point	Light switch
	Sensor to light	2 way light switch
	Exhaust fan	Telephone point
	2-way Exhaust fan/light/heat	Data point



Electrical plan ground floor
Scale 1:120



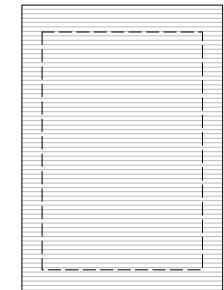
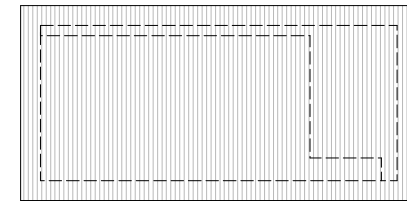
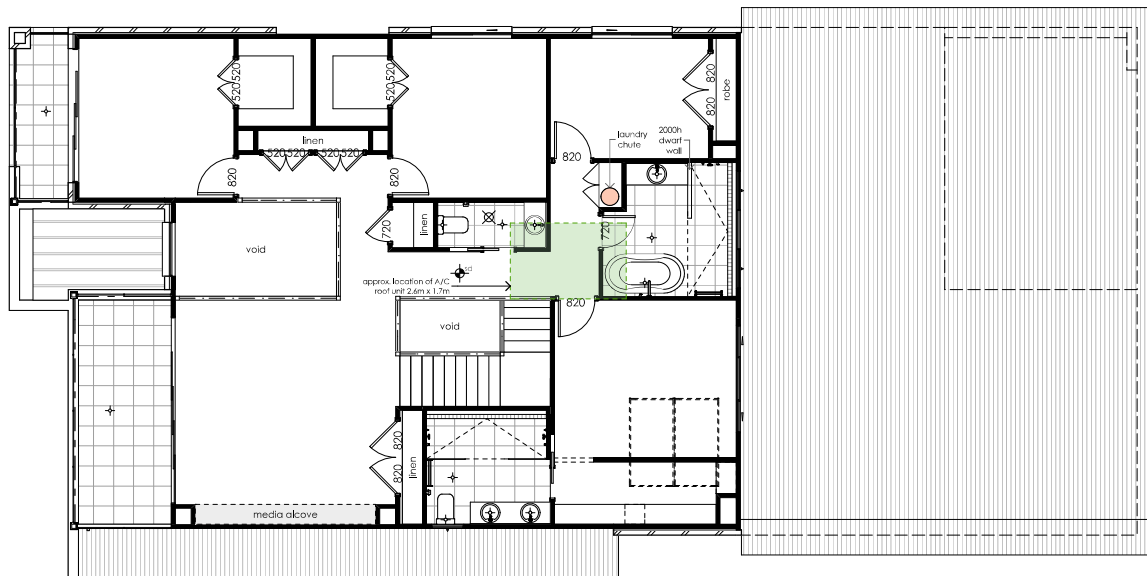


General electrical notes

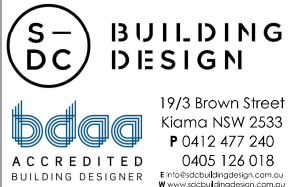
All electrical points (power points, light switches etc) positioning are approximate only and are subject to confirmation by electrician and builder

Legend

Symbol	Description	
	Single G.P.O.	4-way Exhaust fan/light/heat
	Single waterproof G.P.O.	Ceiling fan
	Double G.P.O.	
	Double waterproof G.P.O.	Ceiling fan/light
	Ceiling light fitting	
	LED downlight	Smoke detector
	Flourescent light to garage	T.V. Point
	Wall light point	Gas point
	External wall light point	Light switch
	Sensor to light	2 way light switch
	Exhaust fan	Telephone point
	2-way Exhaust fan/light/heat	Data point

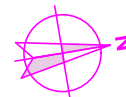


Electrical plan first floor
Scale 1:120

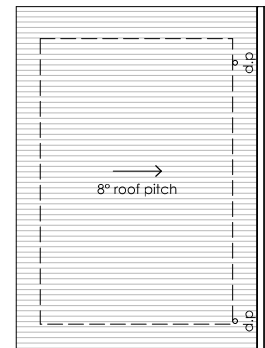
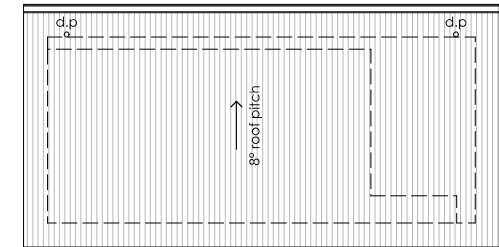
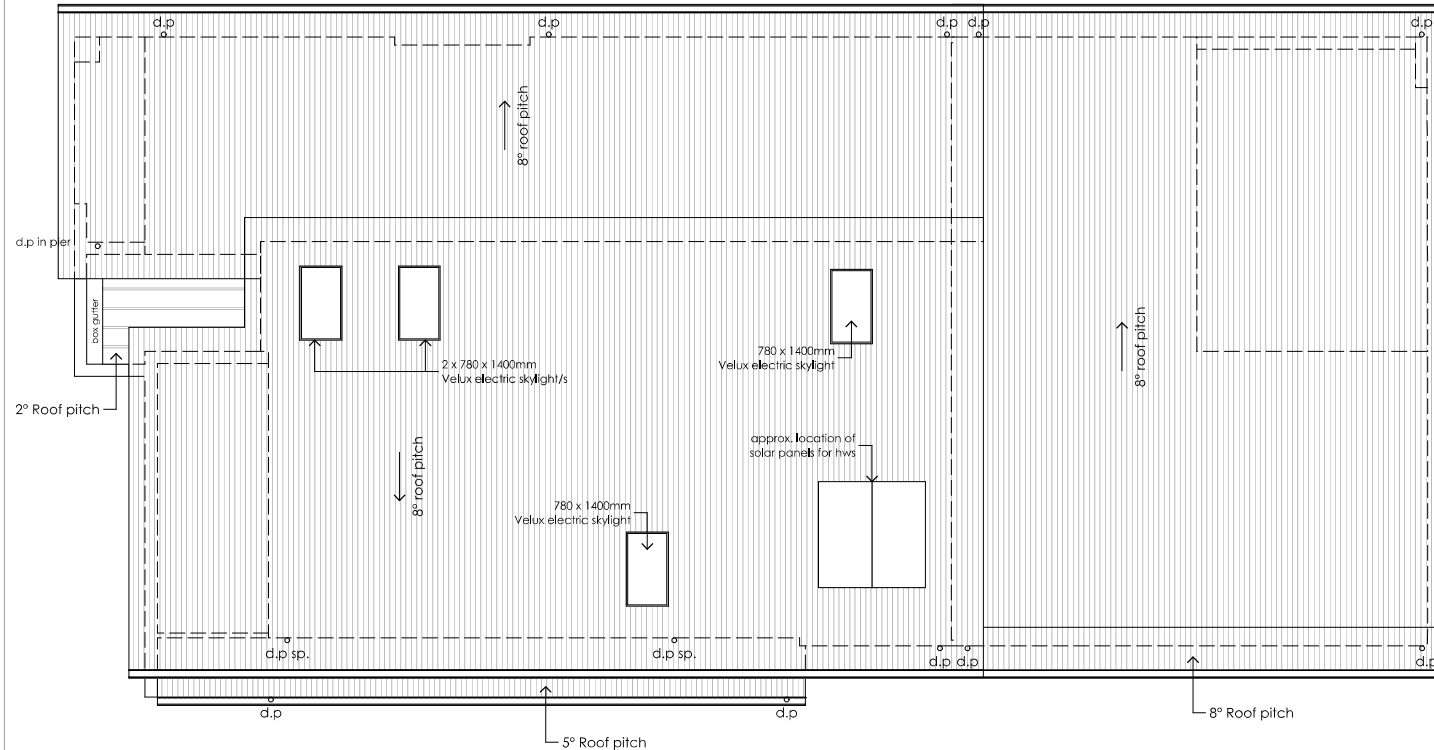


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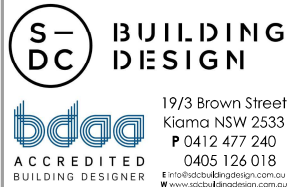
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LGA:		Canterbury Bankstown	
Lodgement:		DA/CC	
Lot No:	30	DP No:	28103



Design:	Cormorant 44	Site address:	Lot 30 No. 22 Parkview Avenue Picnic Point NSW 2213	Job No:	21.026
Facade:	Custom	Client names:	J. & S. Catling	DWG No:	20
Finishes:	Logico			Version No:	DA_10
				Date:	2/12/2022



Roof plan
Scale 1:100



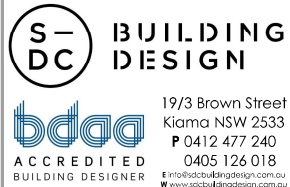
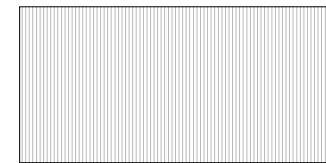
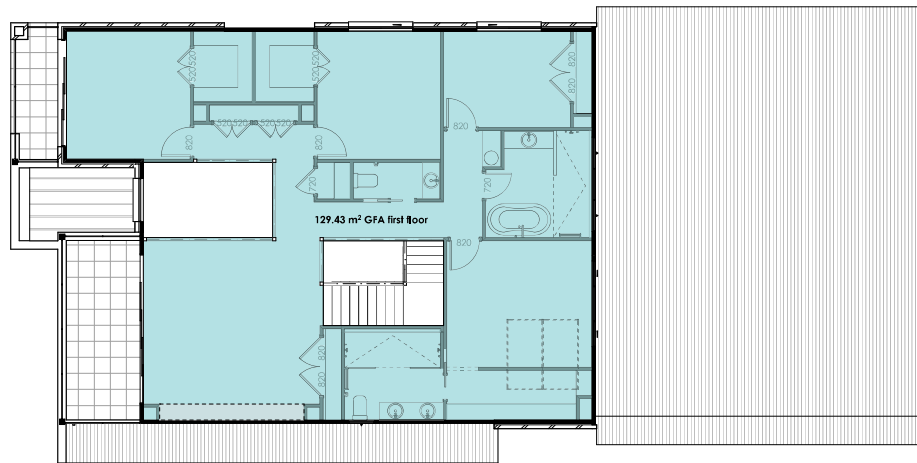
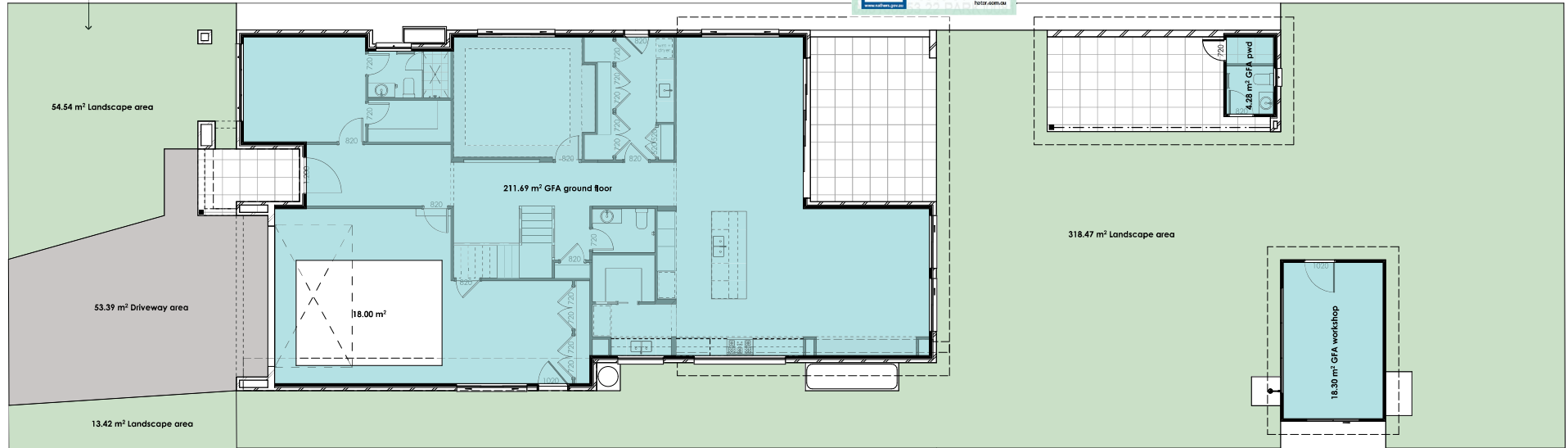
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Site classification: 'H' class (tbc)	
LGA: Canterbury Bankstown	
Lodgement: DA/CC	
Lot No: 30	DP No: 28103



Design: Cormorant 44	Site address: Lot 30 No. 22 Parkview Avenue Picnic Point NSW 2213	Job No: 21.026
Facade: Custom	Client names: J. & S. Catling	DWG No: 21
Finishes: Logico		Version No: DA_10
		Date: 2/12/2022

Total area forward of building line = 121.35m²
Landscape area = 67.96m² (56.0%)

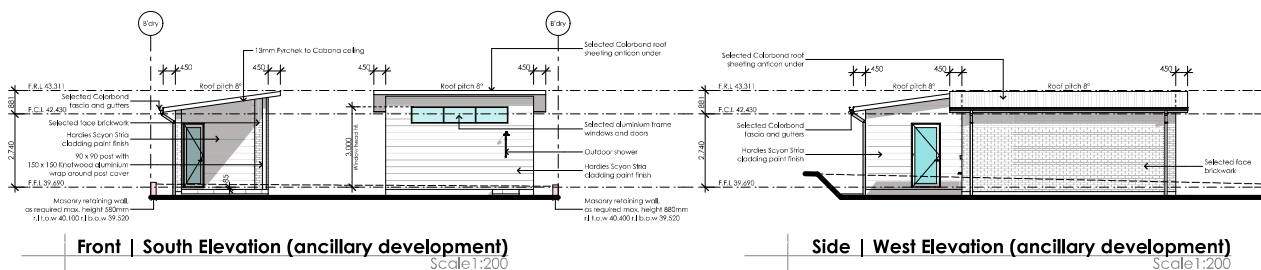
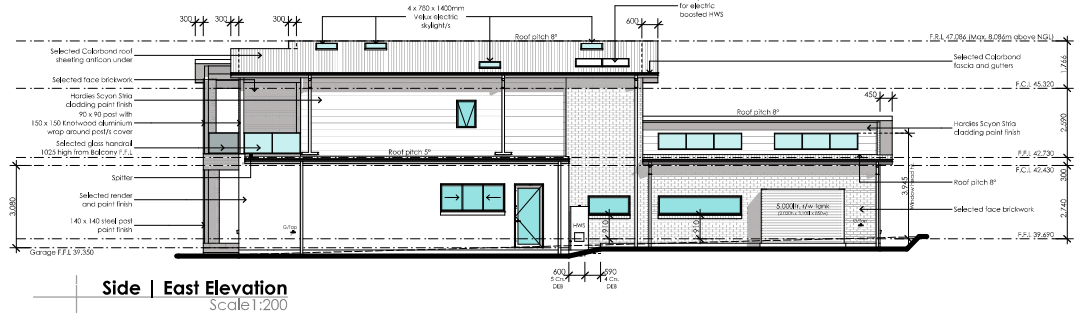
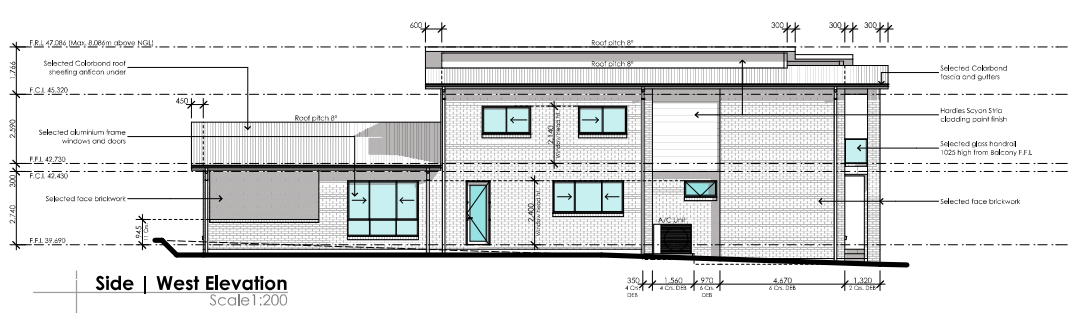
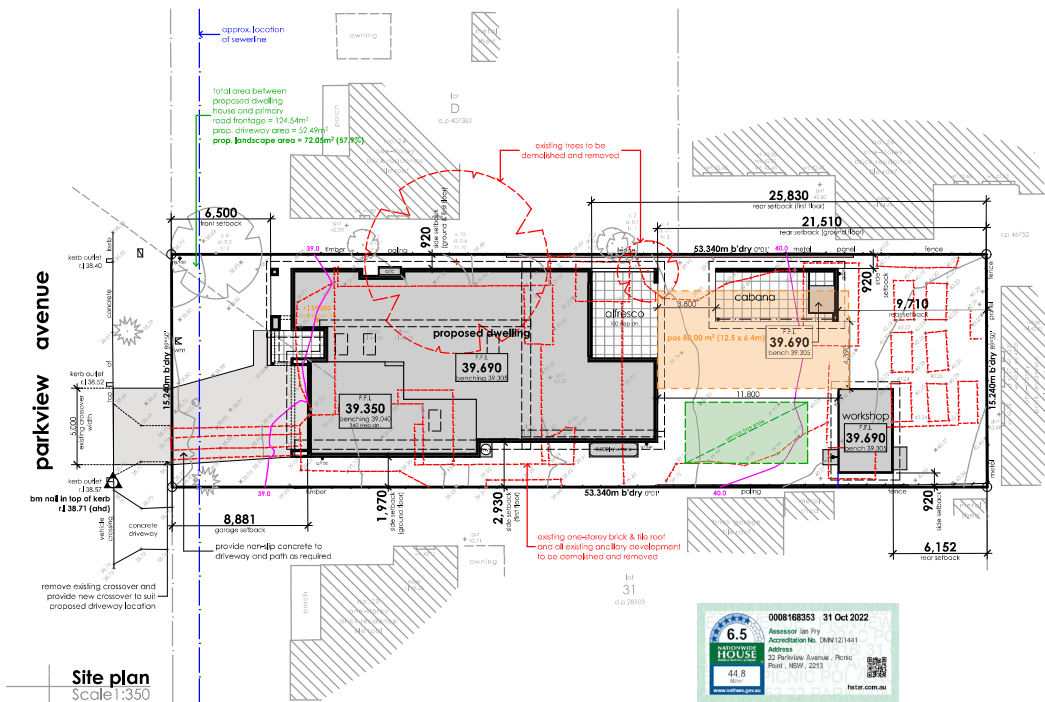


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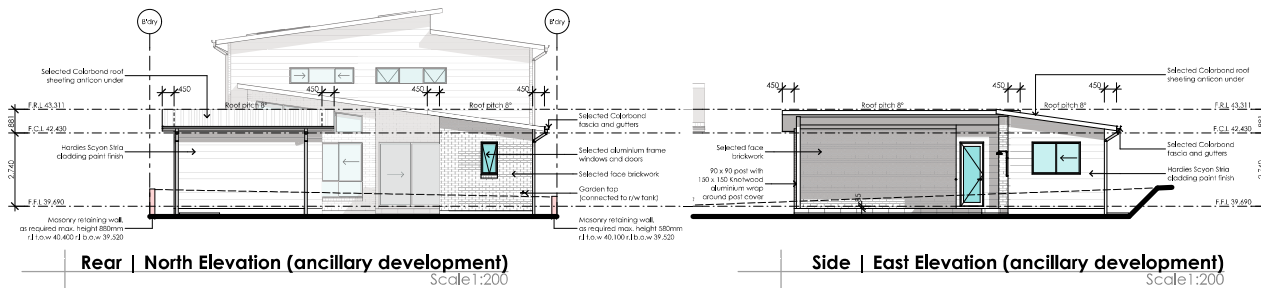
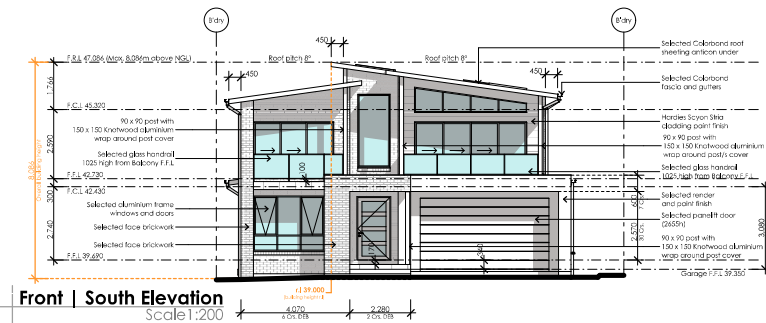
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LGA: Canterbury Bankstown	
Lodgement: DA/CC	
Lot No: 30	DP No: 28103



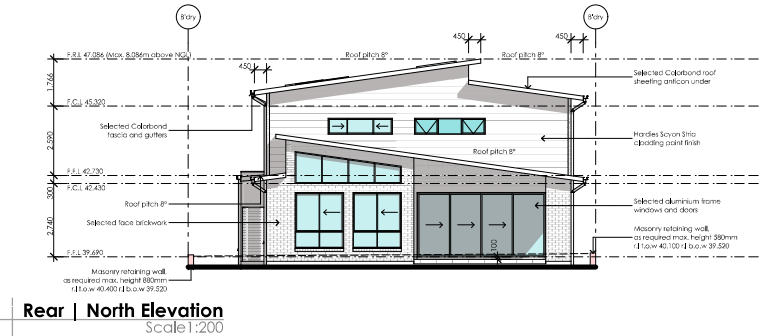
Design: Cormorant 44	Site address: Lot 30 No. 22 Parkview Avenue Picnic Point NSW 2213	Job No: 21.026
Facade: Custom	Client names: J. & S. Catling	DWG No: 22
Finishes: Logico		Version No: DA_10
		Date: 2/12/2022



Side | West Elevation (ancillary development)
Scale: 1:200



Side | East Elevation (ancillary development)
Scale: 1:200



Safety design sheet / Risk management report

1. Falls, slips and trips

(a) Working at heights
During Construction
Where possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a two metres is a possibility.

During operation or maintenance
For houses or other low-rise buildings where scaffolding is appropriate:
Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from height in excess of two metres is possible. Where this type of activity is required, scaffolding, ladders or trestles should be used in accordance with relevant codes of practice, regulations or legislation.
For buildings where scaffold, ladders, trestles are not appropriate:
Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, fall barriers or Personal Protective Equipments (PPE) should be used in accordance with relevant codes of practice, regulations or legislation.

Floor Finishes
If the designer has not been involved in the selection of surface finishes, the owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. Surfaces should be selected in accordance with AS HB 197:1999 and AS/NZ 4586:2004.

Steps, Loose Objects and Uneven Surfaces
Due to design restrictions for this building, steps and/ objects or otherwise occupied. Steps should be clearly marked with or ramps are included in the building which maybe a hazard to workers carrying both visual and tactile warning during construction, maintenance, demolition and at all times when the building operates as a workplace. Building owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard.
Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways. Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

2. Falling Objects

Loose Materials or Small Objects
Construction, maintenance or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more measures should be taken to avoid objects falling from the area of the following where the work is being carried out onto persons below.
1. Prevent or restrict access to areas below where the work is being carried out.
2. Provide toeboards to scaffolding or work platforms.
3. Provide protective structure below the work area.
4. Ensure that all persons below the work area have Person Protective Equipment (PPE)

Building Components
During construction, renovation or demolition of this building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injury persons in the area is a possibility.

Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects.
Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that access to areas below the load is prevented or restricted.

3. Traffic Management
For building on a major road, narrow road or steeply sloping road:
Parking of vehicles or loading/unloading of vehicles on this roadway may cause a traffic hazard. During construction, maintenance or demolition of this building designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for their supervision of these areas. For building where on-site loading/unloading is restricted:
Construction of this building will require loading and unloading of congestion of loading areas and trained traffic management personnel should be used to supervisee loading/unloading areas.
For all buildings:
Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site.

4. Services
General
Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known, these are identified on the plans but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service (such as Dial Before You Dig), appropriate excavation practice should be used and, where necessary, specialist contractors should be used.
Locations with underground power:
Underground power lines must be disconnected or carefully located and adequate warning signs used prior to any construction, maintenance or demolition commencing.
Location with overhead power lines.
Overhead power lines MAY be near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be , where practical, disconnected or relocated.
Where this is not practical adequate warning in the form of bright coloured tape or signage should be used or a protective barrier provided.

5. Manual Tasks

Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass. All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur.
Construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance with manufacturer's specifications and not used where faulty or (in the case of electrical equipment) not carrying a current electrical safety tag. All safety guards or devices should be regularly checked and Personal Protective Equipment (PPE) should be used in accordance with manufacturer's specification.

6. Hazardous Substances
Asbestos
For alterations to a building constructed prior to 1990:
If this existing building was constructed prior to: 1990 - it therefore may contain asbestos
1986 - it therefore is likely to contain asbestos
Either in cladding material or in fire retardant insulation material. In either case, the builder should check and, if necessary take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.

Powdered Materials
Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment (PPE) including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

Treated Timber
The design of this building may include provision for the inclusion of treated timber with the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment (PPE) including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

Volatile Organic Compounds
Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment (PPE) may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

Synthetic Mineral Fibre
Fibreglass, rockwool, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fibre which maybe harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts of the body. Personal Protective Equipment (PPE) including protection against inhalation of harmful material should be used when installing, removing or working near bulk insulation material.

Timber Floors
This building may contain timber floors which have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

7. Confined Spaces

Excavation
Construction of this building and some maintenance on the building will require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided.

Enclosed spaces
For buildings with enclosed spaces where maintenance or other access may be required:
Enclosed spaces within this building may present a risk to perons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment (PPE) should be provided.


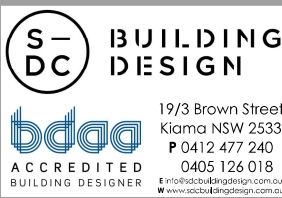
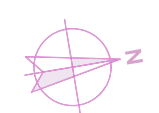
Small Spaces
For buildings with small spaces where maintenance or other access may be required:
Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

8. Public Access
Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.

9. Operational Use of Building
Residential Buildings
This building has been designed as a residential building. If it, at a later date, it is used or intended to be used as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be applied to the new use.

10. Other High Risk Activity
All electrical work should be carried out in accordance with Code of Practice: Managing Electrical Risks at the Workplace, AS/NZ 3012 and all licensing requirements. All work using Plant should be carried out in accordance with Code of Practice: Managing Noise and Preventing Hearing Loss at Work. Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.

The Safety design sheet must be read and understood by all involved in this project. This includes (but is not excluded to) Owner, Builder, Sub-Contractors, Consultants, Renovators, Operators, Maintenance and Demolishers.

	 <p>19/3 Brown Street Kiaama NSW 2533 P 0412 477 240 0405 126 018 E info@sdcbuildingdesign.com.au W www.sdcbuildingdesign.com.au</p>	<p>General notes:</p> <ol style="list-style-type: none">1. Do not scale from drawing2. All dimensions to be checked on site3. Any discrepancies to be report to designer4. Boundaries to be verified by surveyor5. Other consultants drawings take precedence6. Drainage to council requirements and AS35007. Copyright of plans and documentation remain the exclusive property of Logico Homes Pty Ltd <p>Builders Licence No. 249513C</p>	<p>Site classification:</p> <p>'H' class (tbc)</p> <p>IGA:</p> <p>Canterbury Bankstown</p> <p>Lodgement:</p> <p>DA/CC</p> <table><tr><td>Lot No:</td><td>30</td><td>DP No:</td><td>28103</td></tr></table>	Lot No:	30	DP No:	28103		<p>Design:</p> <p>Cormorant 44</p> <p>Facade:</p> <p>Custom</p> <p>Finishes:</p> <p>Logico</p>	<p>Site address:</p> <p>Lot 30 No. 22 Parkview Avenue Picnic Point NSW 2213</p> <p>Client names:</p> <p>J. & S. Catling</p>	<p>Job No:</p> <p>21.026</p> <p>DWG No:</p> <p>24</p> <p>Version No:</p> <p>DA_10</p> <p>Date:</p> <p>2/12/2022</p>
Lot No:	30	DP No:	28103								

Be Advised : Some clauses in this specification may not be relevant to this project

Specification

General:

All dimensions shall be checked on site prior to commencement of any work.
All materials shall comply with relevant current Australian standards and unless otherwise stated on the plans shall be new and the best of their respective kind and suitable for the intended purposes.
All workmanship shall comply with relevant current Australian standards and to good trade practices.
All work shall be in accordance with requirements of the respective authority having jurisdiction over the works.
The architectural drawings should be read in conjunction with specifications, schedules and consultants drawings that form part of the construction documents referred to in the building contract.
Do not scale from the drawings. Notify of any errors or emissions before proceeding with any works.
Ensure that substrates are suitable for the intended subsequent finishes, commencement of work on the substrate implies acceptance by the subcontractor of the substrates on which finishes are applied.
Contractor is to supply all equipment necessary for the completion of the respective works.
Contractor is responsible for the progressive clean up during and after the completion of respective works.

Excavation:

Unless otherwise stated, remove topsoil including all roots, and other matter, and required by the soil contractor and/or builder, provide suitable clean fill and compact in layers.
Do not excavate services trenches within an angle of 45 degrees down from the bottom edge of the footings.

Demolition:

Demolition plan and notes dashed in red. Existing House to be demolished

Concrete:

All concrete reinforcement and framework shall be to structural engineers details, relevant building codes and standards.
The footings and slab construction is to comply with AS 2870

Blockwork:

Materials, construction and detailing to comply with AS 3700. - 2001.
Accessories for masonry construction to comply with AS 2975.
Reinforcement to be galvanised.
Review work with other trades, piping, ducts etc before starting.
Clean base before laying masonry.
Set doors & windows plumb and brace.
Install DPC, wall ties, reinforcement, flashing to AS 3700.
Install ties to anchor masonry to structure, doors, windows etc.
Construction joints @ max. 6000mm centres.
Ensure weep holes installed where necessary.

Driveway:

Selected finishes to driveway to be installed to manufacturers specifications.

Carpentry:

Roof and ceiling framing should comply with AS 1684 light timber framing code.
Draw strap firmly over wall plates and securely fix to top plate by Galv. Clout/Strap.
Refer to AS 1684 for roof framing sizes unless specified on drawings.
Supply and fix all bulkheads and false ceilings as shown on the drawings.

Roof:

Selected roofing material shall be installed and fixed in accordance with manufacturers specification and relevant building codes.

Floor Coverings:

Coverings shall be free of defects.
Floors shall be a combination of concrete, ceramic tile, carpet and timber.

Joinery:

PAB or MDF to kitchen, bathroom and laundry shall have high moisture resistance.

Dry Walls:

Fix wallboard and plasterboard strictly to manufacturer's specifications.
Sheet and set internal walls strictly to manufacturer's specifications.
Provide plastic external angles and stop beads to all corners and edges.

Windows:

All glazing to comply with AS 2208/1996 and AS 2208:1996/Amdt 1:1999
Windows to be timber framed clear glass unless otherwise notified.
Glass shall be free of defects. Windows more than 2m above ground
Must be to BCA Clause 3.9.2.5
Double glazing where Basix document specifies

Termite:

Termite protection to comply with all relevant codes and standards, AS 3660/1.
Slab on ground will be used as a termite barrier in accordance with the requirements of AS2870.
Where timber decking areas are used construction will be of termite resistant timbers.

Plumbing:

Install 3 star rated water efficient shower heads, toilets, dishwashers and washing machines.
Install 4 star toilet flushing cisterns on all toilets
Install 6 star kitchen and bathroom taps
Install aerators on bathroom basins and kitchen sinks
Wet areas to bathrooms, showers, laundries, sanitary compartments and kitchens or the like shall comply with AS 3740 WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGS
Install a gas instantaneous HWS

Drainage:

Connect all stormwater to rainwater tanks and then overflow system (see drainage plan). Guttering and downpipes shall comply with AS 3500.3.2 and gutters and flashings are to be manufactured in accordance with AS 2179.1 for metal and AS 1273 for UPVC. See drainage plan for location of tanks, downpipes and overflow/drainage.

Sewer:

Connect all fixtures to existing system.

Electrical:

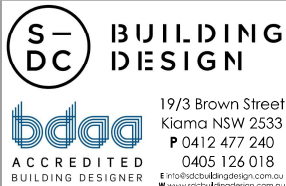
Work shall be carried out by a licensed electrician and in accordance with SAA WIRING RULES AS 3000 as amended.
Photovoltaic Cells located on dwelling (area shown on roof plan)
Smoke alarms shall comply with AS 3786
Install a minimum of 40% energy efficient lamps/fittings, see Basix Report
Appliances are to have a minimum 3 star rating

Painting:

For surfaces to receive paint clean down, remove all foreign matter including grease, dust and dirt, fill cracks and holes and sand smooth.
Apply paint strictly to manufacturer's specifications
Allow for surface preparation one coat minimum undercoat and two coats minimum final colour.

Balustrades:

Balustrades shall be built in accordance with PART 3.9.2 BALUSTRADE DESIGN AND HEIGHT of the BCA.



General notes:
1. Do not scale from drawing
2. All dimensions to be checked on site
3. Any discrepancies to be report to designer
4. Boundaries to be verified by surveyor
5. Other consultants drawings take precedence
6. Drainage to council requirements and AS3500
7. Copyright of plans and documentation remain the exclusive property of Logico Homes Pty Ltd Builders Licence No. 249513C

Site classification:		'H' class (tbc)	
LGA:		Canterbury Bankstown	
Lodgement:		DA/CC	
Lot No:	30	DP No:	28103



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